



City of Stone Mountain Historic Preservation Commission
Regularly Scheduled Meeting
September 18, 2024
6:30 p.m.

- **Call to Order**
- **Determination of Quorum**
- **Approval of Agenda**
- **Approval of Meeting Minutes**
 1. August 21, 2024 Meeting Minutes
- **Commission Announcements**
- **Certificate of Appropriateness**
 1. 5155 Central Drive – Joyce & Dave Thomas
Request to replace the walkway and both sets of stairs attached to the walkway.
 - Applicant Statements
 - Commission Questions and Remarks
 - Public Comments (5 minutes each)
 - Motion and Vote
 - Reminder that approved work may require zoning review and additional city permits
 2. 5238 W Mountain Street – Rachel Alexander
Request to repair the existing sunroom including replacing siding, framing, doors, windows, and adding a heating/cooling system.
 - Applicant Statements
 - Commission Questions and Remarks
 - Public Comments (5 minutes each)
 - Motion and Vote
 - Reminder that approved work may require zoning review and additional city permits

Old Business

New Business

- **Public Comments** (on any topic – 5 minutes each)
- **Adjournment**

*I. The HPC reserves the right to extend or limit the length of public comments based on: 1) the issue under discussion; 2) the number of items on the agenda; and 3) the extent to which the speaker remains constructive in their comments and questions. **II.** The public may not directly confront the applicant but must direct all comments and questions to the HPC. **III.** Public harassment of, or confrontation with the applicant will not be tolerated. **Members of the public violating tenets two or three will be asked to sit down or leave the premises.**



**City of Stone Mountain Historic Preservation Commission
Regular Meeting Minutes
August 21, 2024 – 6:30 PM
City Hall, 875 Main Street, Stone Mountain, Georgia 30083**

CALL TO ORDER – at 6:33pm

DETERMINATION OF QUORUM

Present: Elaine Vaughn, Andrea Redmond, Theresa Hamby, Virginia Townes, Elisabeth Richmond, and Rebecca Spring.

Absent: None

APPROVAL OF THE AGENDA

Virginia Townes moved to approve the agenda as presented; seconded by Andrea Redmond.

Vote: Passed 6-0.

APPROVAL OF MEETING MINUTES

1. Approval of meeting minutes from the July 17, 2024 meeting.

Virginia Townes moved to approve the agenda as presented; seconded by Andrea Redmond.

Vote: Passed 6-0.

COMMISSION ANNOUNCEMENTS

None.

CERTIFICATE OF APPROPRIATENESS

1. 6566 James B Rivers Memorial Drive – Hilde Friese
Request to replace 5 windows.

Mrs. Friese introduced the case.

Elaine Vaughn asked if this was the side of the building damaged by the fire.

Virginia Townes asked if the new windows would be the same design as the existing windows.

Elisabeth Richmond asked for clarification on the material being wood.

No public comments.

Virginia Townes moved to approve the request; seconded by Elisabeth Richmond.

Vote: Passed 6-0.

2. 1060 3rd Street – Gaines Moore
Request to install solar panels.

Mr. Moore introduced the case.

Theresa Hamby asked for clarification on the location of the solar panels on the roof.

Andrea Redmond expressed concerns over the view of the solar panels from Second Street.

Elisabeth Richmond asked for clarification on the location of the battery pack.

Rebecca Spring asked about the size of the battery pack.

Elaine Vaughn asked if the application was open to screening the battery pack from the view of the street.

No public comment.

**Elisabeth Richmond moved to approve the request with the condition that the battery pack be screened from view of the street; seconded by Elaine Vaughn.
Vote: Passed 6-0.**

OLD BUSINESS

Andrea Redmond requested that staff look into revising the design guidelines to include solar panels.

NEW BUSINESS

None.

PUBLIC COMMENTS

No public comments.

ADJOURNMENT

**Virginia Townes moved to adjourn at 6:54 pm; seconded by Andrea Redmond.
Vote: Passed 6-0.**

Theresa Hamby, Chair

Richard Edwards, Secretary



City of Stone Mountain
875 Main Street
Stone Mountain, GA 30083

**STAFF ANALYSIS AND REPORT
CERTIFICATE OF APPROPRIATENESS APPLICATION**

OWNER/APPLICANT: Joyce & Dave Thomas

LOCATION: 5155 Central Drive (Parcel ID: 18 090 04 003)

CURRENT ZONING: R-2 – Traditional Residential

CURRENT USE: Single-Family Home

ADJACENT LAND USE:

North	Single-Family Residential
South	Single-Family Residential
West	Single-Family Residential
East	Single-Family Residential

MEETING INFORMATION:

Historic Preservation Commission: September 18, 2024

STAFF REPORT AND IMPACT STATEMENT:

September 18, 2024

To: City of Stone Mountain Historic Preservation Commission

From: Elizabeth Mitchem, Planner

Subject: Request to replace the walkway and both sets of stairs attached to the walkway.

Background:

The Architectural Resurvey of the City of Stone Mountain classifies this house as an American Small House circa 1947 (Survey #18)).

The applicant is requesting to replace the front walkway and two associated sets of stairs. The stairs at the driveway will be recessed into the retaining wall and the stairs at the front door will be extended to provide a landing/platform. Currently, the walkway and stairs are poured concrete but the applicant is proposing to use inset flagstone for the replacement.

If approved, the applicant will then be able to proceed with applying for permits in compliance with all regulations of the Stone Mountain design guidelines regarding residential renovations (Stone Mountain design guidelines, chapter 6), and the city of Stone Mountain Code of Ordinances.

5155 Central Drive



5149 Central Drive



5161 Central Drive



HISTORIC DISTRICT DESIGN GUIDELINES:

Stone Mountain Historic District Guidelines 5.3: Entrances and Porches

5.3.2 – Repair of entrance and porch details, if seriously deteriorated, should involve the limited replacement of original material with in-kind materials or a compatible substitute. If replacement materials must be introduced, the new material should match the old in design, color, texture, and where possible, material.

Analysis: Pursuant to Article II of the City of Stone Mountain Zoning Ordinance, Staff has reviewed the request in accordance with the required review criteria listed in Section 5-38.

1. Secretary of the Interior’s “Standards for Historic Preservation Projects”
2. Secretary of the Interior’s “Standards for Rehabilitation”
3. City of Stone Mountain’s Historic District Design Guidelines



Certificate of Appropriateness (COA) Application

Application Fee: Residential - \$50.00 Commercial - \$100.00

SEP 3 2024 AM 11:01

Routine Maintenance does not require an application fee.

Permit Number: _____ Date Received: _____
 Meeting Date: _____ Date Complete: _____
 HPC Action Taken: _____ Date Processed: _____

PROPERTY ADDRESS (address at which the work is to be performed)

Property Address: 5155 Central Drive

APPLICANT CONTACT INFORMATION

Applicant Name: Joyce and Dave Thomas Phone Number: 504-231-7268 / 504-957-9290
 Mailing Address: 5155 Central Drive, Stone Mountain, Ga. 30083
 Email Address: mertyw@gmail.com / born2step@gmail.com

PROPERTY OWNER'S INFORMATION (if different from applicant information above)

Property Owner's Name: same
 Address: _____ Phone Number: _____

PROJECT DESCRIPTION

Routine Maintenance or Repair Routine maintenance does not involve a change in materials or in appearance. A COA is not required, but the HPC requests that an application be submitted to be kept on file to ensure that work performed is per the application. If the project makes a change in materials or appearance, then a COA is required. Routine maintenance includes but is not limited to the following:

- Re-roofing (shingles)
- Wood repair (only a portion of siding, porch, fence, etc.)
- Windows (repair)
- Doors (repair)
- Other _____

Exterior Changes (visible changes to exterior of existing structure), include but are not limited to the following:

- Window(s)
- Door(s)
- Porch
- Lighting
- Awning
- Other _____

Construction, includes but is not limited to the following:

- New Building
- Additions
- Accessory Building
- Other _____
- Major building restoration, rehabilitation, or remodeling

Site Changes, include but are not limited to the following:

- Fence/Wall
- Pool
- Mechanical system
- Walkway/Sidewalk/Driveway
- Other _____

Demolition or Relocation, include but are not limited to the following:

- Primary Building
- Accessory Building
- Site Feature
- Trees/Vegetation
- Other _____

Other _____

Certificate of Appropriateness (COA) Application

Describe the proposed project in detail, including the materials, finishes, and measurements. Additional pages may be attached if necessary. replace a front walk and two associated sets of stairs. The stairs at the driveway will be recessed into the retaining wall. (Currently, they protrude into the driveway.) The stairs at the front door will be extended to provide a landing/platform in front of the porch. All of the work will be inset flagstone. The walkway will be semi-permeable. Currently, the walkway and both sets of stairs are poured concrete.

REQUIRED MATERIALS CHECKLISTS

Depending on your project, the following materials are the minimum required by the HPC in order to have a complete application. **Incomplete applications will not be reviewed by the HPC until all information is submitted.**

Exterior Changes

- description of project
- description of construction materials
- photographs of existing building
- proposed finishes (attach samples)

Construction

- description of project
- stamped set of architectural elevations (all sides)
- stamped site plan (building, fencing, paving)
- landscaping plan (saved and proposed vegetation)
- description of construction materials
- photographs of proposed site and adjacent sites
- stamped set of architectural floor plans
- proposed finishes (attach samples)
- documentation of earlier historic appearance (restoration, rehabilitation, or remodeling only)

Site Changes


- description of project
- sketch diagram of proposed project
- site plan showing current features—buildings, paving, fencing, mature vegetation, etc.
- description of construction materials
- photographs of existing site and adjacent sites
- proposed finishes (attach samples)

Demolition or Relocation

- description of project
- site plan showing existing structures
- site plan showing proposed development
- description of construction materials
- photographs of existing site and adjacent sites
- proposed finishes (attach samples)
- landscaping plan (saved and proposed vegetation)

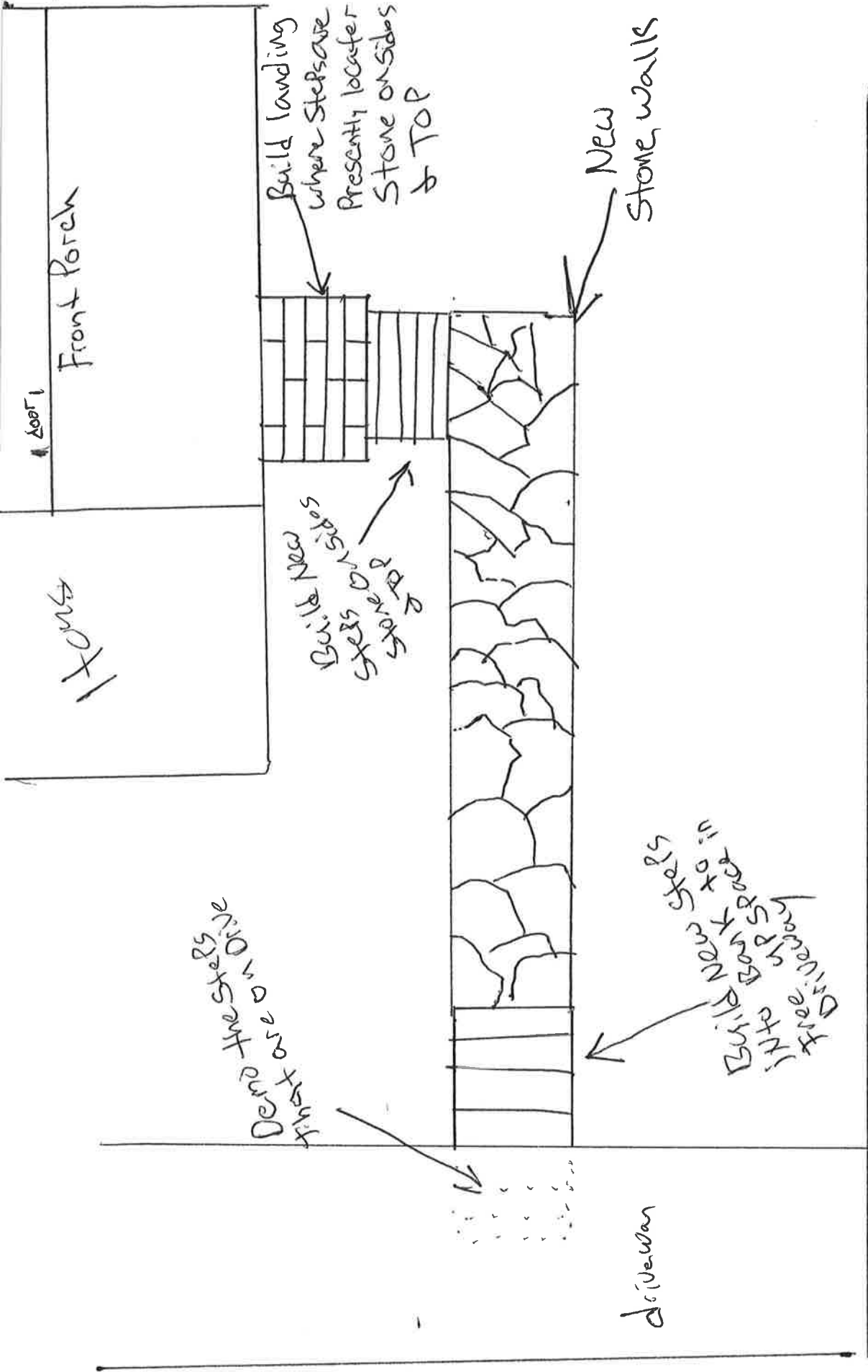
AUTHORIZATIONS

I HEREBY CERTIFY that I am the owner(s) of the property or that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his/her authorized agent. Furthermore, I certify I have read and understand the procedures and guidelines set forth in the *Stone Mountain Design Guidelines for Historic Preservation*.


Signature of Owner(s) _____ Date _____


Signature of Applicant _____ Date _____

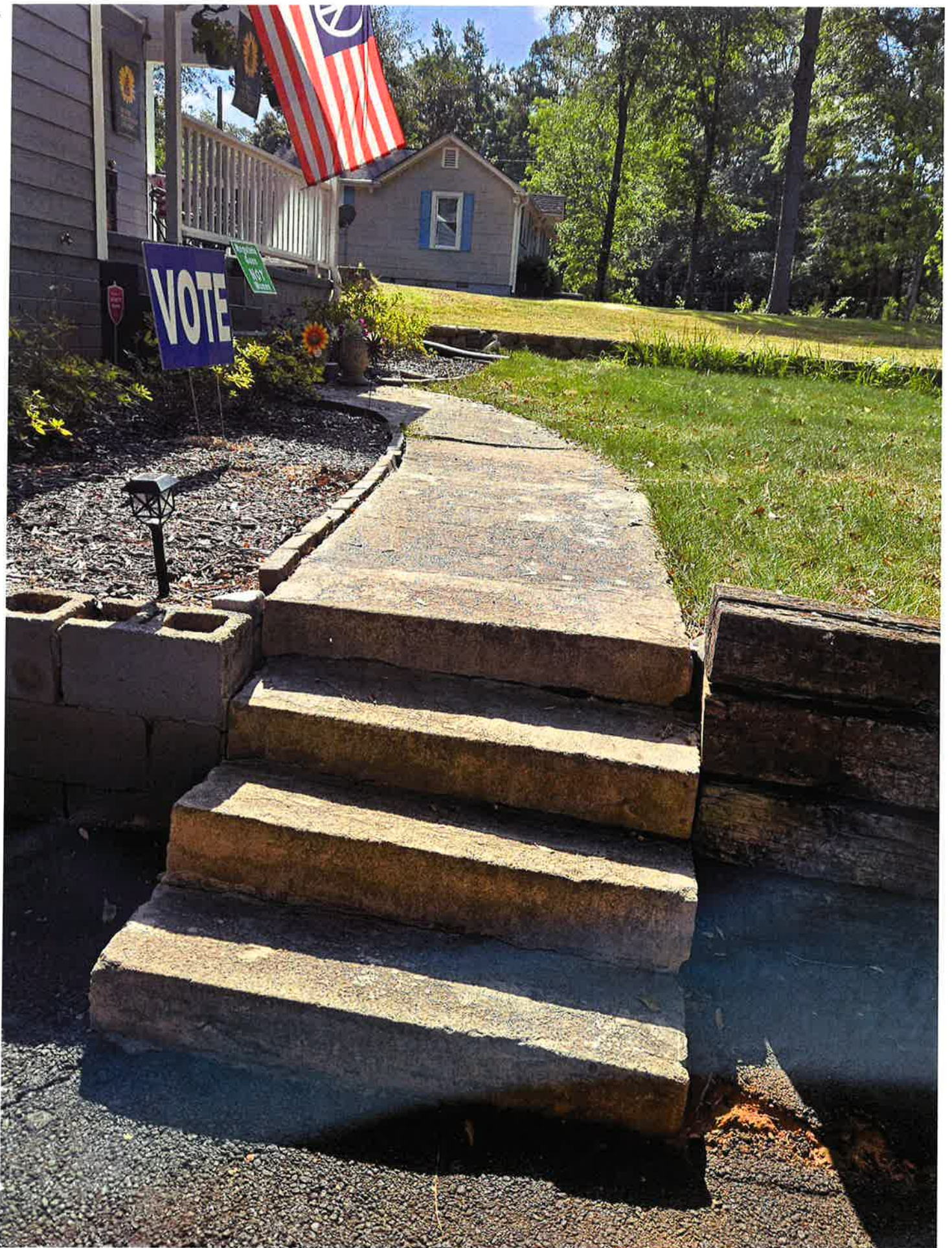
Signature of Authorized Agent _____ Date _____

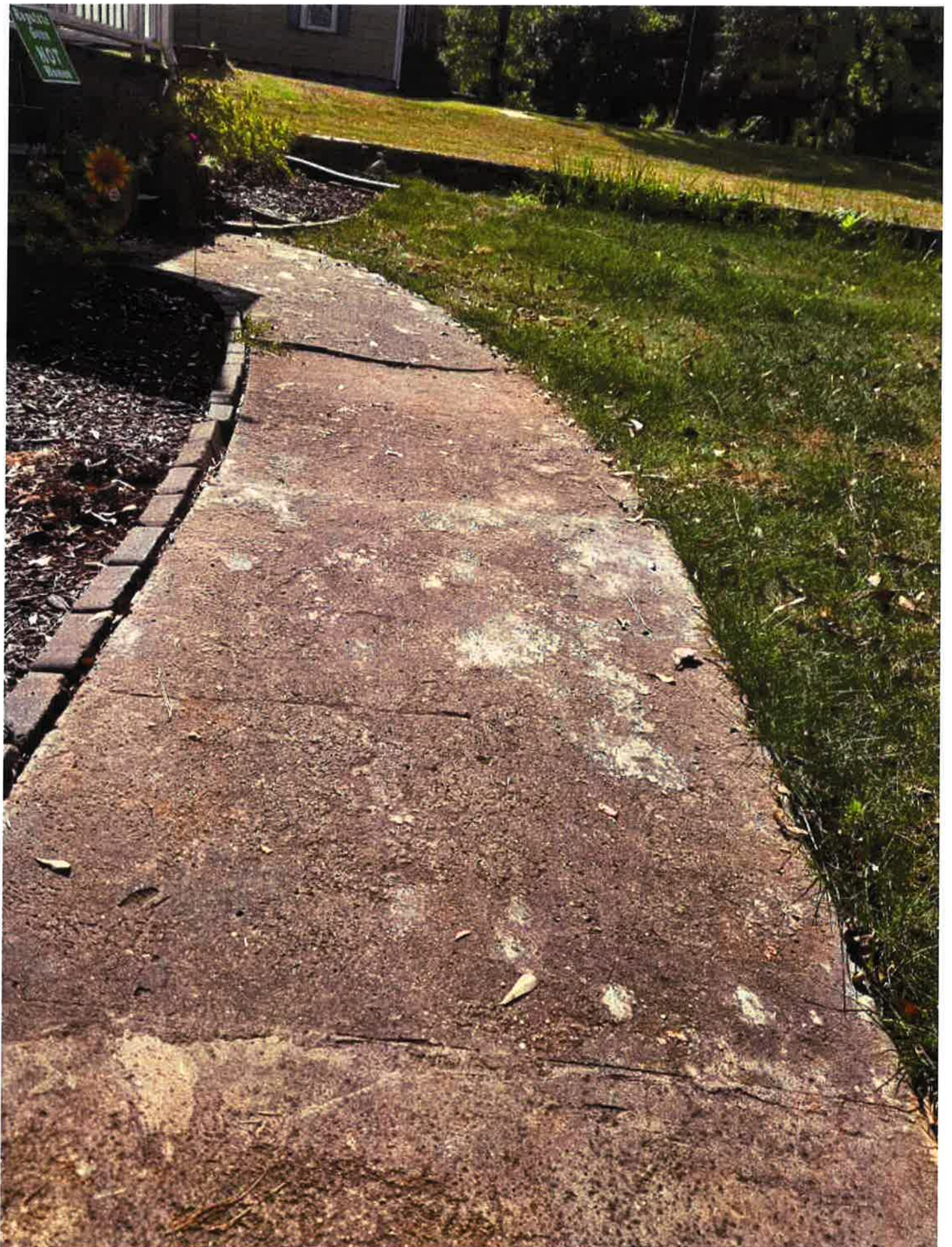


Central Dr.













City of Stone Mountain
875 Main Street
Stone Mountain, GA 30083

**STAFF ANALYSIS AND REPORT
CERTIFICATE OF APPROPRIATENESS APPLICATION**

OWNER/APPLICANT: Rachel Alexander

LOCATION: 5238 West Mountain (Parcel ID: 18 090 14 006)

CURRENT ZONING: R-2 – Traditional Residential

CURRENT USE: Single-Family Home

ADJACENT LAND USE:

North	Vacant Residential Lot
South	Single-Family Residential
West	Vacant Residential Lot
East	Single-Family Residential

MEETING INFORMATION:

Historic Preservation Commission: September 18, 2024

STAFF REPORT AND IMPACT STATEMENT:

September 18, 2024

To: City of Stone Mountain Historic Preservation Commission

From: Elizabeth Mitchem, Planner

Subject: Request to repair the existing sunroom including replacing siding, framing, doors, windows, and adding a heating/cooling system.

Background:

The Architectural Resurvey of the City of Stone Mountain classifies this house as “Hall/Parlor” circa 1905.

The applicant is requesting to repair the existing sunroof. The work will include replacing the siding, back door, windows, framing, and adding a heating/cooling system. The materials include plywood, sheetrock, a door with windowpanes, exterior siding, and framing boards.

If approved, the applicant will then be able to proceed with applying for permits in compliance with all regulations of the Stone Mountain design guidelines regarding residential renovations (Stone Mountain design guidelines, chapter 6), and the city of Stone Mountain Code of Ordinances.

5238 W Mountain



5246 W Mountain



5243 W Mountain



HISTORIC DISTRICT DESIGN GUIDELINES:

Stone Mountain Historic District Guidelines 5.1: Exterior Materials

5.1.1 – Retain and maintain original exterior materials if at all possible. Such materials can include masonry, metal, wood or other historic material.

5.1.7 - When replacement of exterior materials is necessary, replace only deteriorated materials and match the original material in size, shape, profile, texture, and type.

5.1.10 - The application of non-historic exterior siding, such as brick veneers, asphalt shingle siding, exterior insulating finishing systems (stucco), dryvit, aluminum siding and plywood, over historic materials is not appropriate within the historic district.

5.1.11 – The use of substitute materials to replace deteriorated historic material on a building must meet one of the following circumstances: a) the unavailability of historic materials; b) the unavailability of skilled craftsmen; c) inherent flaws in the original materials; or d) code-required changes.

5.1.12 - If the use of substitute materials is warranted, the new material must be a) compatible with the original historic material in appearance; b) its physical properties must be similar to those of the historic material; or be installed in a manner that tolerates differences; and c) it must meet certain similar performance expectations as those of the original historic material.

5.1.13 - Substitute siding materials may include hardiplank and vinyl and others; these materials are to be considered on a case-by-case basis.

Stone Mountain Historic District Guidelines 5.2: Architectural Details

5.2.5 - The replacement of architectural details that are missing may be accomplished in two ways: 1) an accurate restoration can be completed when historical, pictorial, and physical documentation is available, or 2) a new design that is compatible with the design and historic character of the building can be constructed.

Stone Mountain Historic District Guidelines 5.3: Entrances and Porches

5.3.6 - Rear and side porches not visible from the right-of-way may be enclosed with transparent materials, such as large sheets of clear glass, that maintain the original open character of the porch.

5.3.9 - Retain original doors and their decorative surrounds. If a deteriorated door must be replaced, the new door and surround should be similar to the original in design and material.

Stone Mountain Historic District Guidelines 5.4: Windows

5.4.2 - When deteriorated elements must be replaced, new materials should be compatible with original materials in terms of size, material, design and hardware.

5.4.3 - A replacement window should match the original opening and should duplicate proportions and pane configurations of the original window. Vinyl and aluminum windows with snap-in grid systems may be suitable replacements for wooden windows in the historic district provided wooden replacement are not practical and the design detail of the historic windows can be matched. Care should be taken to match the mullions, muntins and meeting rails, size and configuration of the replacement window to the original window so that features of the historic window are not lost. If aluminum windows must be installed, select a baked finish that matches as closely as possible the color of the existing trim.

5.4.7 - The use of mirrored or tinted glass is not appropriate and is to be avoided.

Stone Mountain Historic District Guidelines 5.7: Mechanical Equipment

5.7.2 - Where new mechanical systems are required for a building, it is recommended that installation of the systems cause the least alteration possible to the exterior elevations of the building and the least damage to historic building materials.

Analysis: Pursuant to Article II of the City of Stone Mountain Zoning Ordinance, Staff has reviewed the request in accordance with the required review criteria listed in Section 5-38.

1. Secretary of the Interior's "Standards for Historic Preservation Projects"
2. Secretary of the Interior's "Standards for Rehabilitation"
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Certificate of Appropriateness (COA) Application

Application Fee: Residential - \$50.00 Commercial - \$100.00

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Permit Number: _____

Date Received: _____

Meeting Date: _____

Date Complete: _____

HPC Action Taken: _____

Date Processed: _____

PROPERTY ADDRESS (address at which the work is to be performed)

Property Address: 5238 West Mountain Street Stone Mountain Ga. 30083

APPLICANT CONTACT INFORMATION

Applicant Name: Rachel Alexander Phone Number: 678-984-8547

Mailing Address: 5238 West Mountain Street Stone Mountain Ga. 30083

Email Address: raesheart@gmail.com

PROPERTY OWNER'S INFORMATION (if different from applicant information above)

Property Owner's Name: Rachel I Alexander

Address: 5238 west mountain Street Phone Number: 9678) 984-0158

PROJECT DESCRIPTION

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- Re-roofing (shingles)
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- Door(s)
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- Lighting
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- Other _____

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- New Building
- Additions
- Accessory Building
- Other _____
- Major building restoration, rehabilitation, or remodeling

Site Changes, include but are not limited to the following:

- Fence/Wall
- Pool
- Mechanical system
- Walkway/Sidewalk/Driveway
- Other _____

Demolition or Relocation, include but are not limited to the following:

- Primary Building
- Accessory Building
- Site Feature
- Trees/Vegetation
- Other _____

Other Sun Room needs to be replaced because it's coming apart.

Certificate of Appropriateness (COA) Application

Describe the proposed project in detail, including the materials, finishes, and measurements. Additional pages may be attached if necessary. The Sun-room needs to be replaced because it is coming apart. The former owners built this addition onto the home incorrectly. The details and repairs and materials needed are attached to this package.

REQUIRED MATERIALS CHECKLISTS

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Demolition or Relocation

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Rachel Alexander

Signature of Owner(s)

Date

Rachel Alexander

Signature of Applicant

Date

Signature of Authorized Agent

Date

Window size for Sunroom:

Deck Side of bldg.: (2)- 36" x 60" windows

Rear of bldg.: (3) 36" X 60" windows

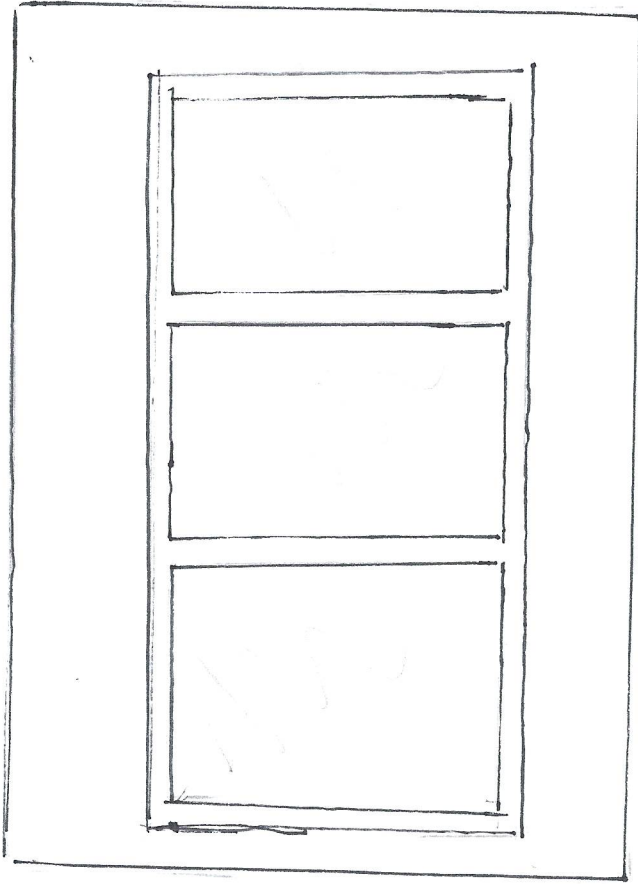
Right side of bldg.: (3) 36" X 60" Windows

Materials List:

1. OSB Boards 4X8 (Plywood)
2. 36 X 60 Windows (8)
3. 4 ft. X 8 ft. Sheet Rock (gypsum board)
4. Door with window pains
5. Exterior Siding Panels
6. 2x4 framing Boards
7. 2x6 Framing Boards
8. 3 Electrical wall outlets
9. 1 Electrical Outlet exterior (On Deck Side)
10. 1 interior cooling/Heating system for sun- room only

8 FT - 6 IN

102 inches

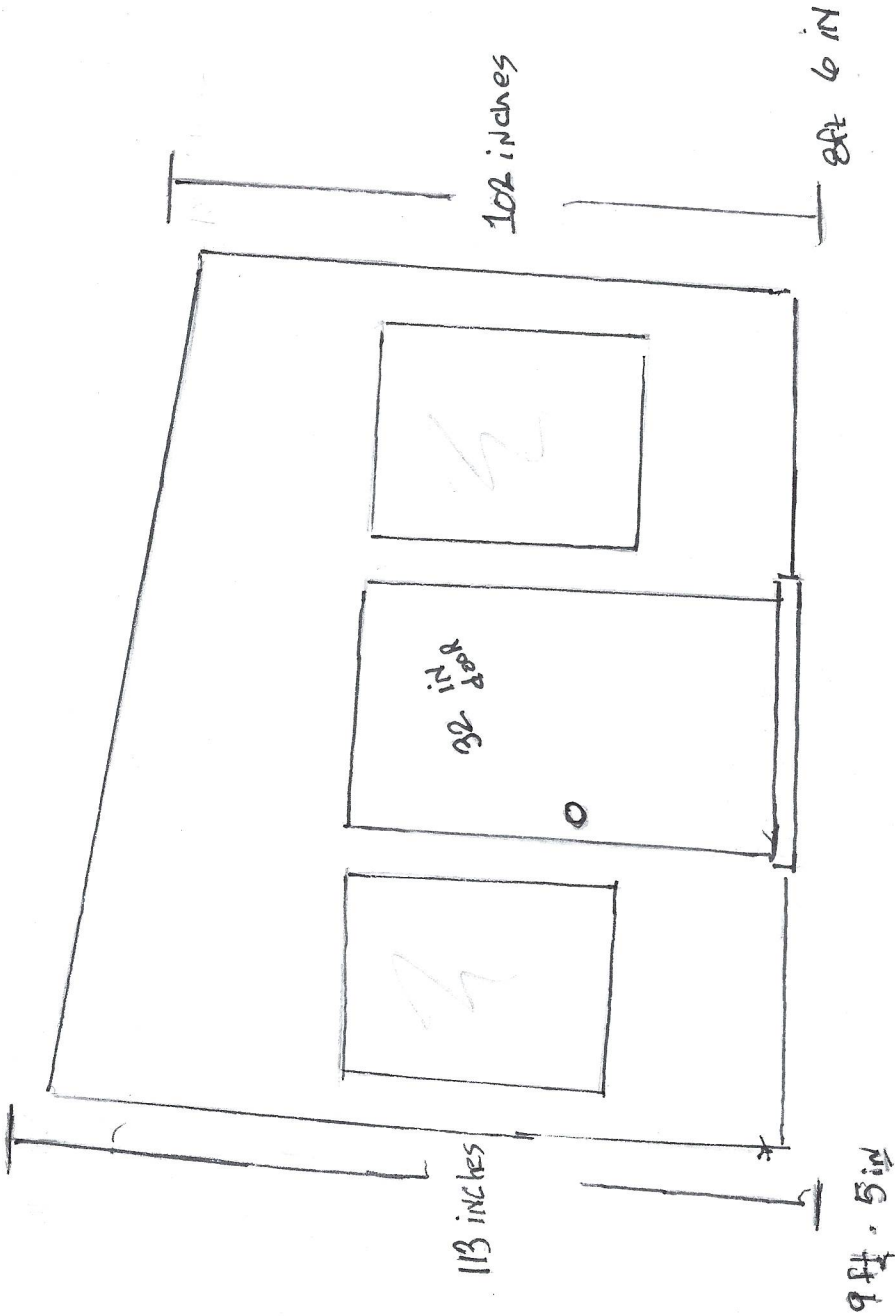


8ft
6in

102 inches

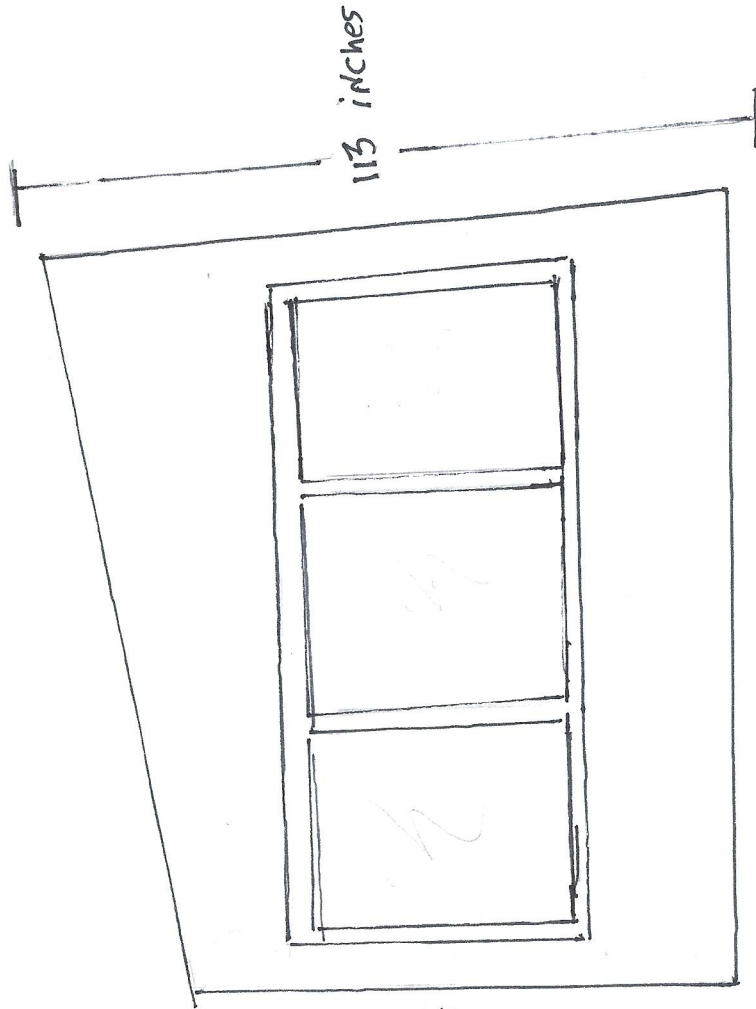
REAR OF SUNROOM

12 ft - 5 inches
149 inches



Deck Side "Left Side"

9 ft. 5 in



113 inches

102 inches

8 ft 6 in

"Right side" Facing Empty Lot

Window size for Sunroom:

Deck Side of bldg.: (2)- 36" x 60" windows

Rear of bldg.: (3) 36" X 60" windows

Right side of bldg.: (3) 36" X 60" Windows

Materials List:

1. OSB Boards 4X8 (Plywood)
2. 36 X 60 Windows (8)
3. 4 ft. X 8 ft. Sheet Rock (gypsum board)
4. Door with window pains
5. Exterior Siding Panels
6. 2x4 framing Boards
7. 2x6 Framing Boards
8. 3 Electrical wall outlets
9. 1 Electrical Outlet exterior (On Deck Side)
10. 1 interior cooling/Heating system for sun- room only

Window size for Sunroom:

Deck Side of bldg.: (2)- 36" x 60" windows

Rear of bldg.: (3) 36" X 60" windows

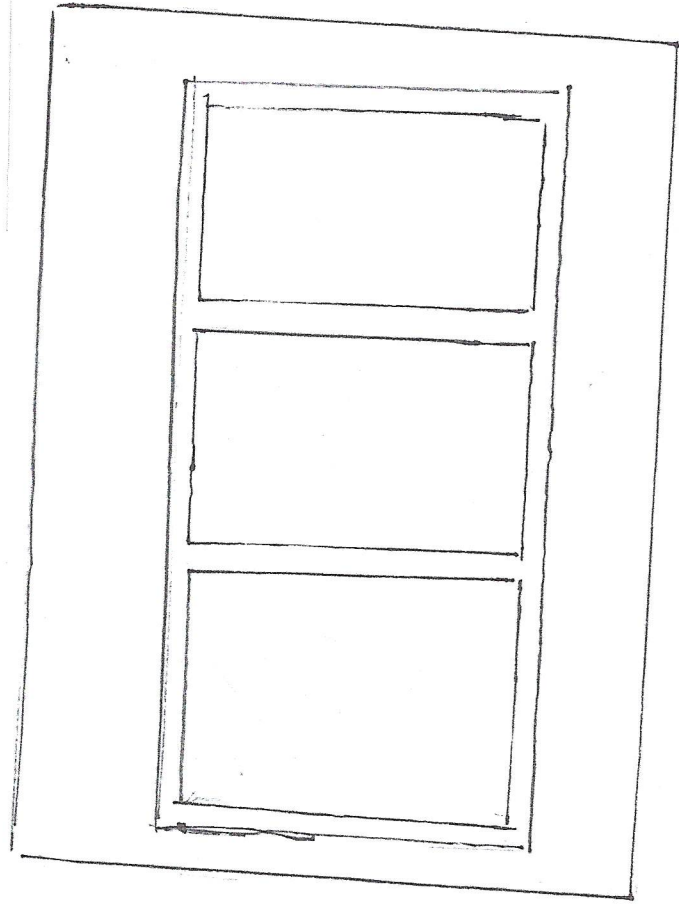
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5. Exterior Siding Panels
6. 2x4 framing Boards
7. 2x6 Framing Boards
8. 3 Electrical wall outlets
9. 1 Electrical Outlet exterior (On Deck Side)
10. 1 interior cooling/Heating system for sun- room only

8 FT - 6 IN

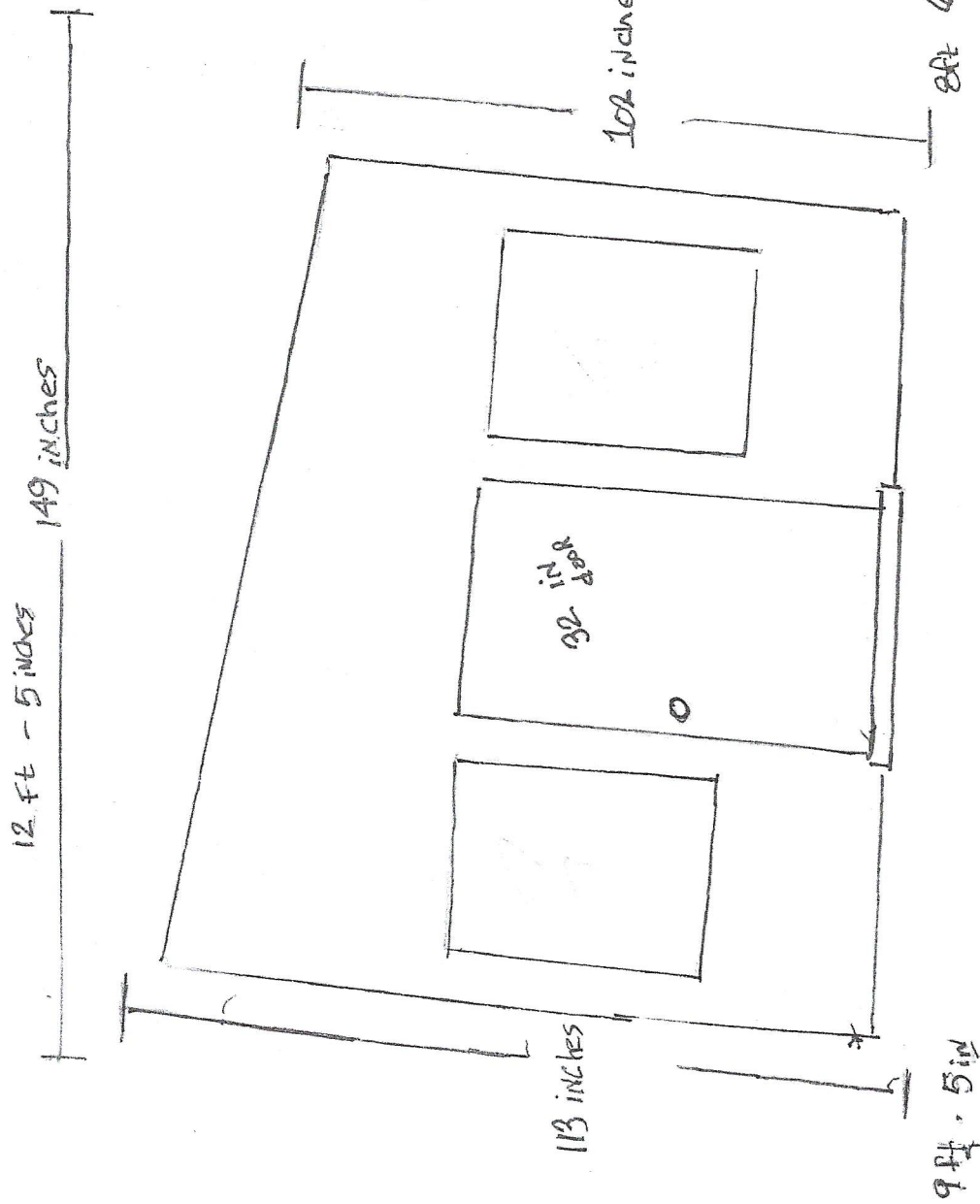
102 inches



REAR OF SUNROOM

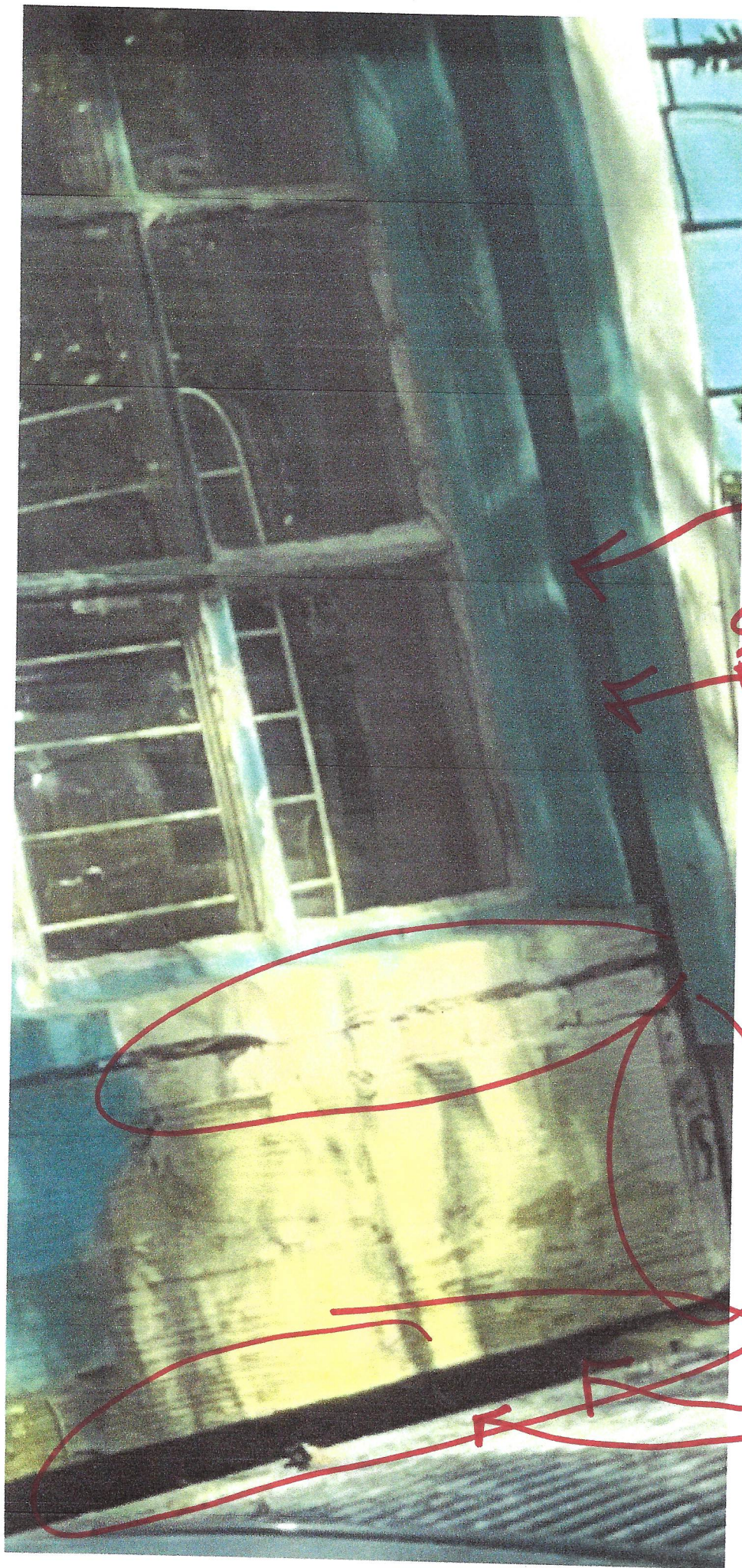
8 ft
6 in

102 inches



Deck Side "Left Side"

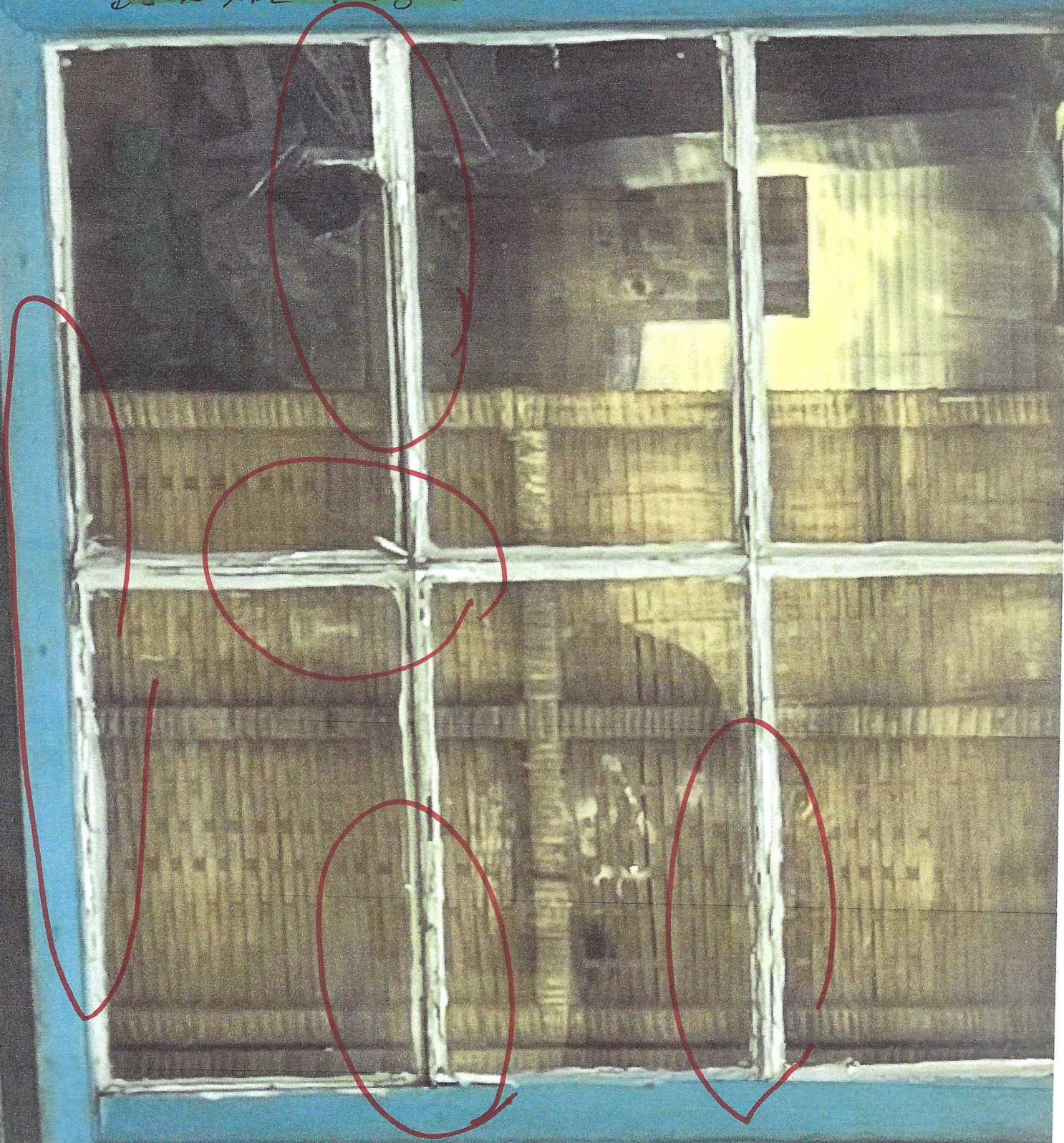
DECK
SIDE
Pg. 1
(DOOR)



Door
coming away
from the
frame

Open
Crack under
the door

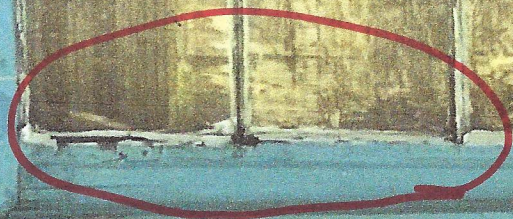
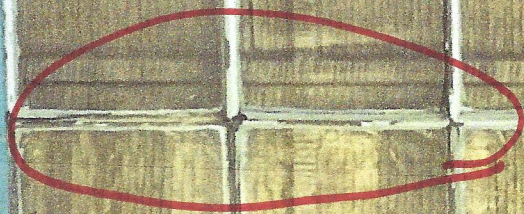
DECK SIDE OF OLD ^{PA.} #2



All windows need
to be replaced.

Deck side of all
ps # 3

Entire
Door needs
to be replaced



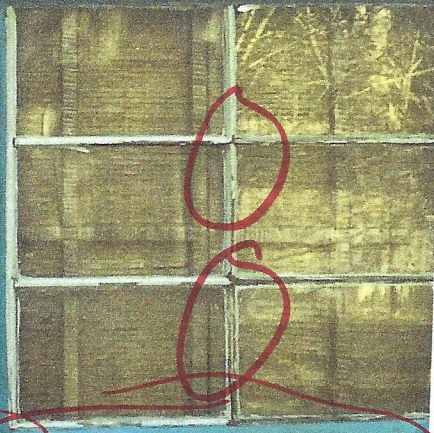
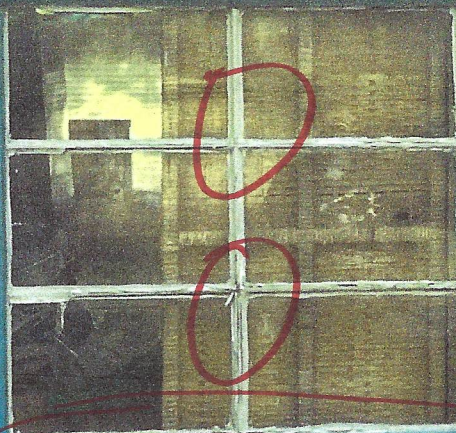
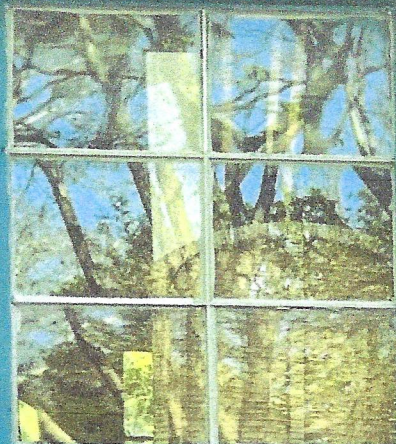
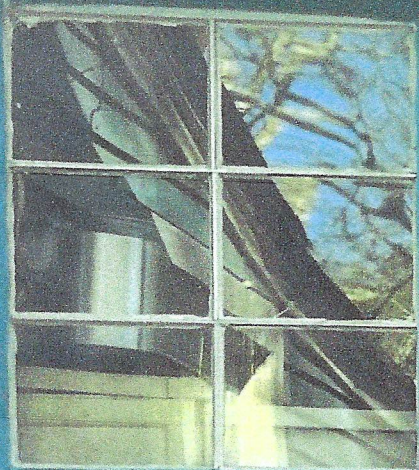


Door 93#4

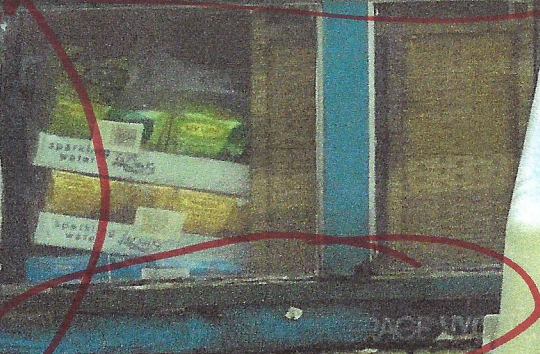
Door

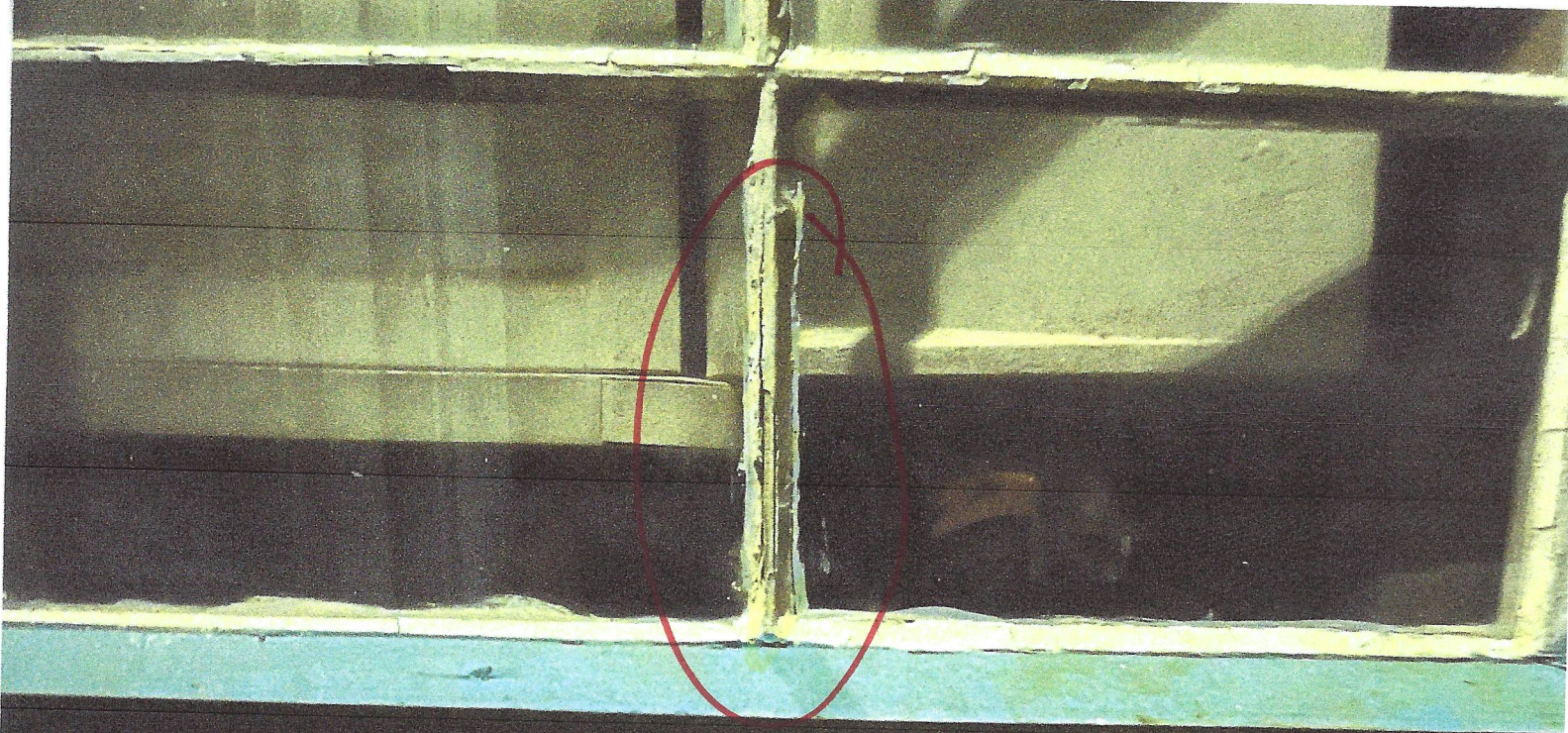
Frame Deterioration

WOOD DECAY OR WOOD ROTTED AREAS
#5



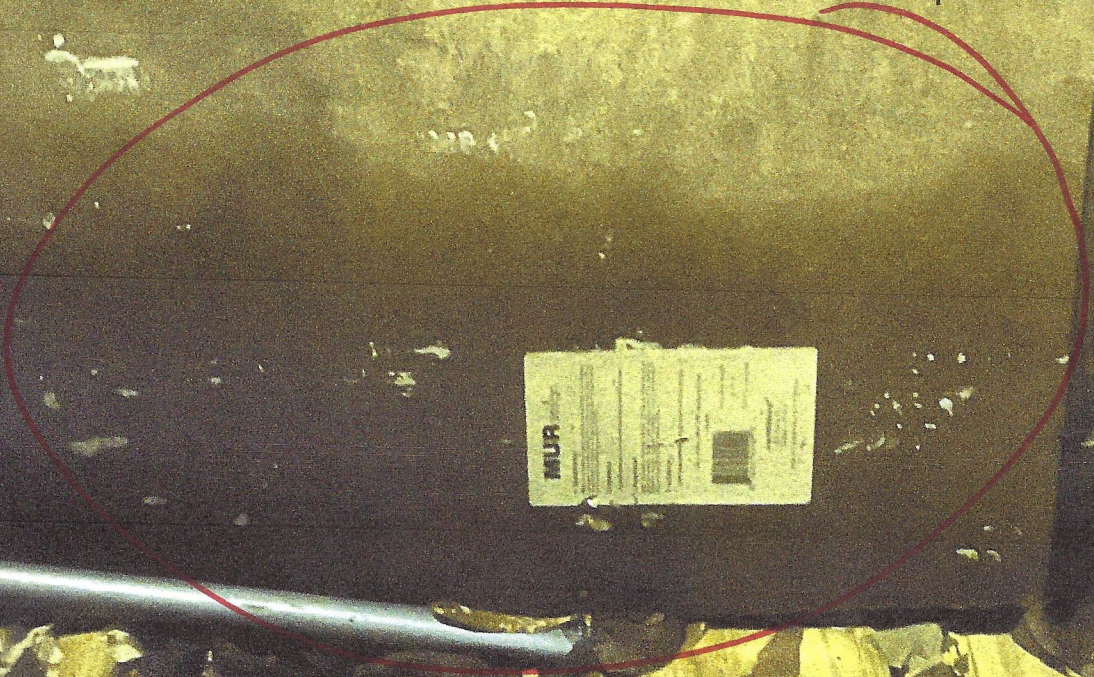
Window
fell out
from deterioration





Water Leaking
Through
Absent
Window

#6

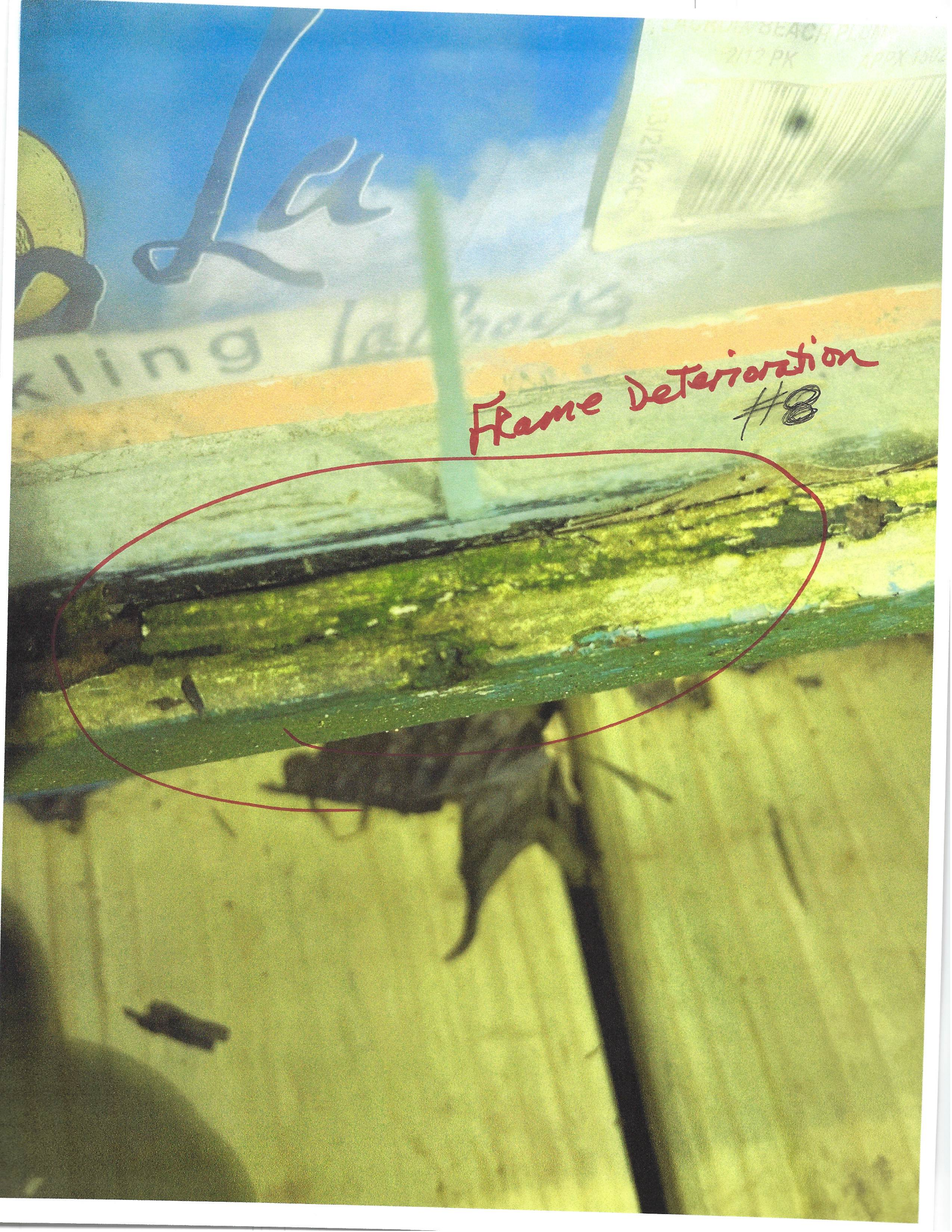


MUR

#7

Frame is
Deteriorating





Frame Deterioration
#8

Water



#9

Frame Deterioration ↓

A Finger can't crush Material ↓

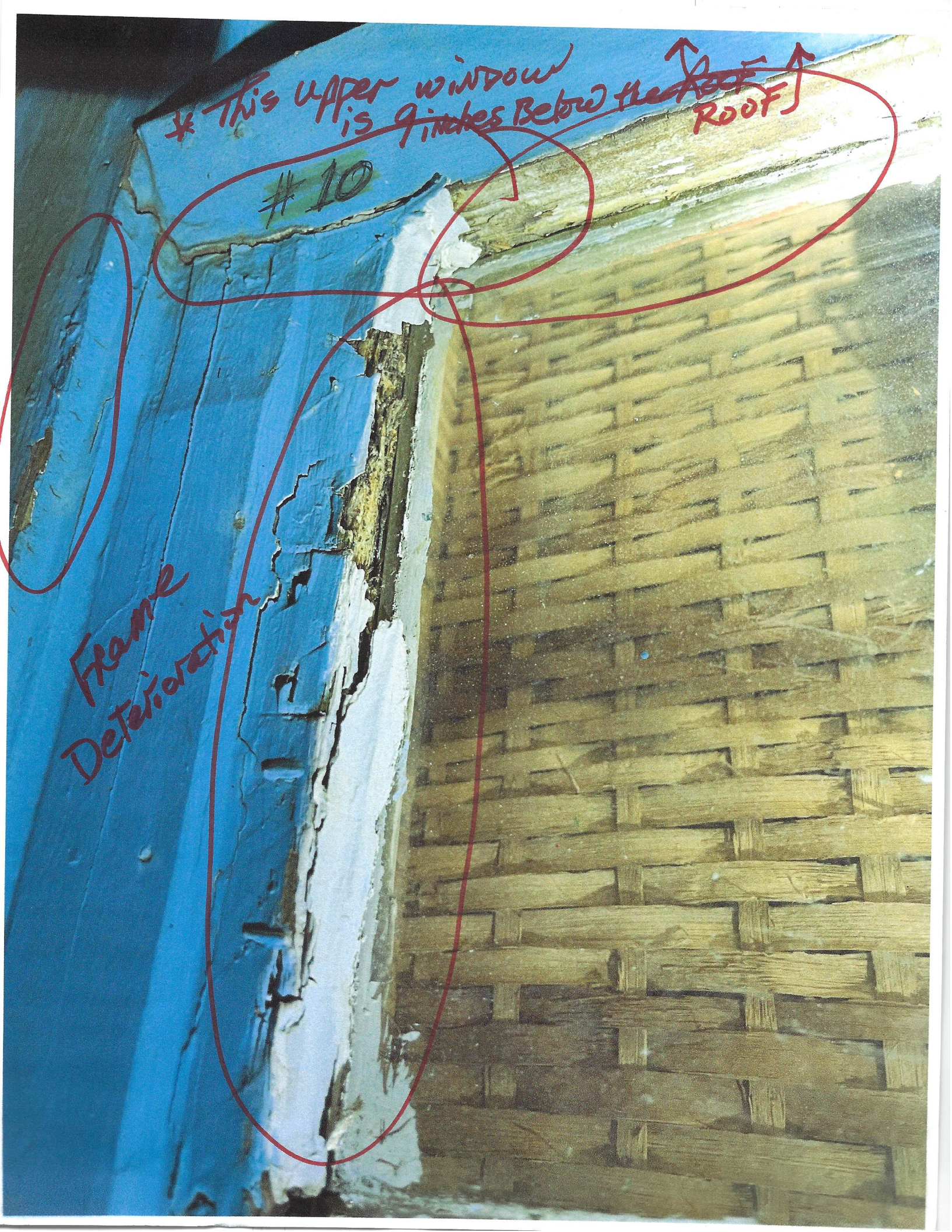
↑ Crumbles when pressed with finger

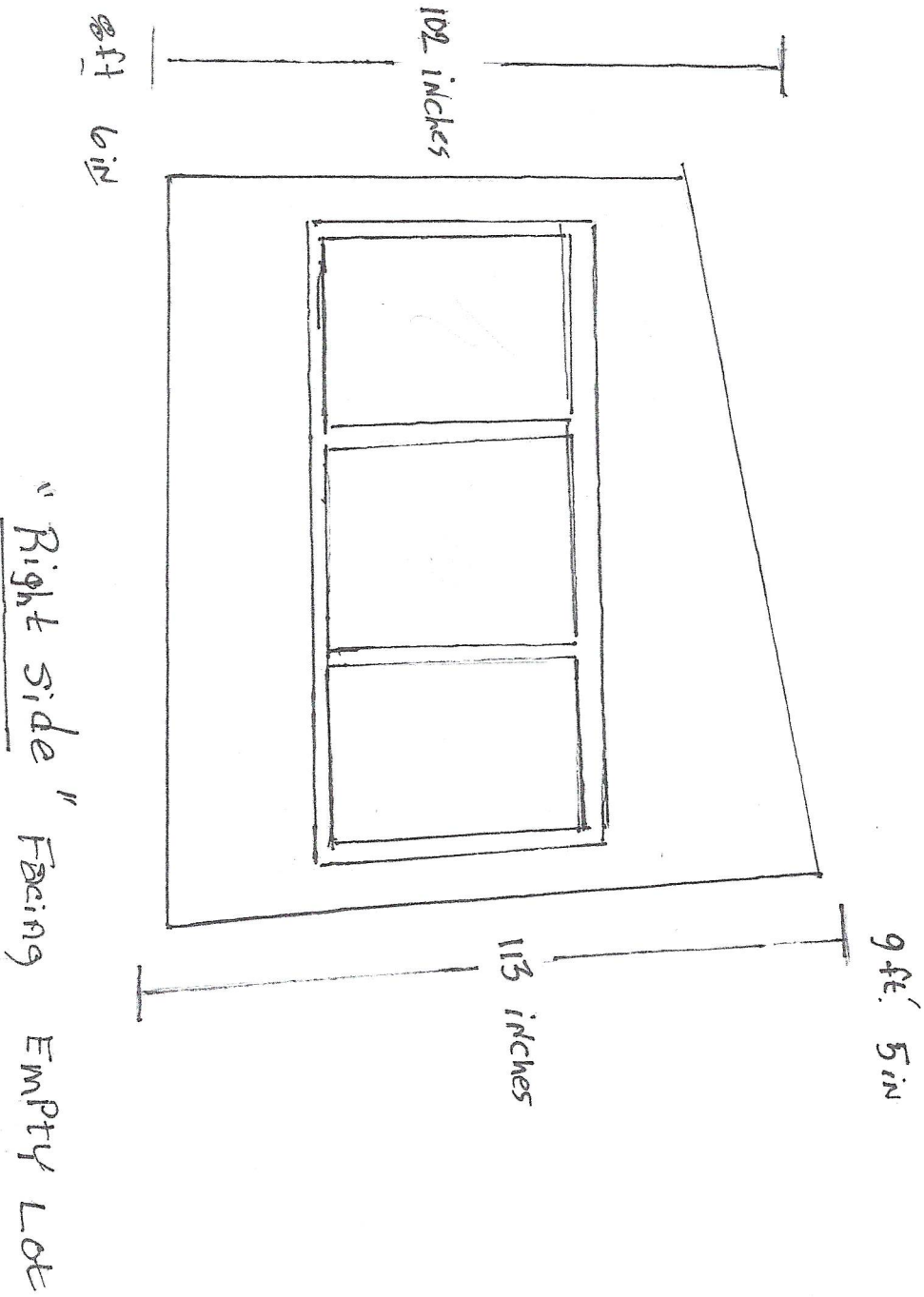


* This upper window
is 9 inches below the ~~ROOF~~
ROOF

#10

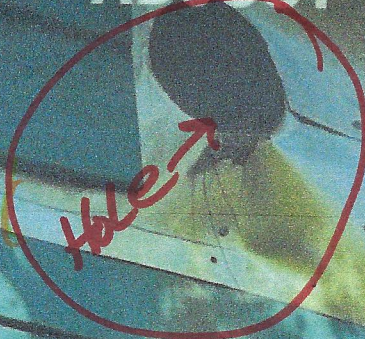
Frame
Deterioration





Right side Facing Empty Lot

ADJUST



Hole

FRAME →
FRAME Deterioration

#12

