



CITY OF MARSHFIELD

MEETING NOTICE

Plan Commission Agenda
City of Marshfield, Wisconsin
Tuesday, May 16, 2023
Council Chambers, City Hall, 207 West 6th Street
7:00 p.m.

1. Call to Order. – Lois TeStrake – Mayor.
2. Roll Call. – Secretary Barg.
3. Approval of Minutes – April 18, 2023 Meeting.
4. Identify potential conflicts of interest - Please be advised per City Policy 3.340, that any member of the body, shall declare a conflict if they have an interest, financial or otherwise, direct or indirect, or engage in a business or transaction or professional activity, or incur an obligation of any nature, that is in conflict with the proper discharge of the body's official duties.
5. Citizen Comments.
6. **Conditional Use Permit Request** by Al Nikolai for an exception to the accessory structure area maximum requirements for a detached garage for properties located at 1415 East 20th Street (parcel 33-07312A) & 1500 Green Acres Drive (parcel 33-07312), zoned "SR-4 Single-Family Residential".
Presenter: Bryce Hembrook, Planner
Public Hearing Required
7. **Conditional Use Permit Request** by Mike Helmrick (Rettler Corporation), representing Marshfield School District, to construct pickleball courts and restrooms on the high school property located at 1401 East Becker Road (parcel 33-03197), zoned "CD Campus Development District".
Presenter: Bryce Hembrook, Planner
Public Hearing Required
8. **Conditional Use Permit Request** by Scott Boson (Boson Construction), representing Sacred Heart, to allow a Large Scale Indoor Institutional Land Use, to allow for a building addition, for the property located at 1011 South Central Avenue (parcel 33-00217), zoned "UMU Urban Mixed Use".
Presenter: Bryce Hembrook, Planner
Public Hearing Required
9. **Rezoning Request** by City of Marshfield to rezone the property located at 1901 South Central Avenue (parcel 33-03532C) to "PUD Planned Unit Development". This parcel was recently improperly rezoned to "Community Mixed Use- Planned Unit Development" instead of the intended zoning district.
Presenter: Bryce Hembrook, Planner
Public Hearing Required
10. **General Development Plan Request** by Benjamin Austin, representing Hole in One Mini Golf, to review and approve the proposed mini-golf course for the property located at 1901 South Central Avenue (parcel 33-03532C), improperly zoned Community Mixed-Use-Planned Unit Development, but in the process of being rezoned to "PD Planned Development".
Presenter: Bryce Hembrook, Planner
Public Hearing Required
11. **Conditional Use Request** by Kevin Cooper to allow a conditional home occupation to allow firearm cleaning and repair services and occasional sales, for the property located at 3207 South Central Avenue (parcel 33-03548C), zoned "CMU Community Mixed Use).
Presenter: Bryce Hembrook, Planner
Public Hearing Required

PLAN COMMISSION AGENDA

- 12. Discussion and possible action regarding a **Municipal Code Amendment Request** by the City of Marshfield, to review a proposed ordinance to allow chickens on single-family lots. The proposed changes would amend Section 9-52 to include language on licensing requirements and adding a new section that describes the new chicken regulations. The proposed changes will also add language to Chapter 18 (Zoning Code) to allow Backyard Chickens as an Accessory Use permitted by right, in the single- & two-family residential districts and the agricultural zoning district, and establish Backyard Chickens as an Accessory Land Use. The proposed changes will also include an exception from a fence permit for chicken pens.
Presenter: Bryce Hembrook, Planner
- 13. Staff Updates.
- 14. Items for Future Agendas.
- 15. Adjourn.

Posted this 12th day of May, 2023 by 12:00 pm by Bryce Hembrook, Planner.

The filming of this meeting is provided by [Marshfield Broadcasting](#), a division of our [Communications Department](#) that can be viewed streaming "LIVE" on the City's website at [ci.marshfield.wi.us](#), cable tv channel 991, and [marshfieldbroadcasting.com](#) at the time of this meeting in open session. Additionally, this meeting can be viewed live on over-the-top devices, Roku, Amazon Fire TV, and Apple TV, by downloading the Marshfield Broadcasting app. After this meeting is adjourned, the video will be available within 24 hours on the City's website at [www.ci.marshfield.wi.us](#), [marshfieldbroadcasting.com](#), Marshfield Broadcasting app on over-the-top devices, and cable channel 991. If you have questions regarding the filming of this meeting, please get in touch with Communications Director Tom Loucks at 715-486-2070.

It is possible that members of and possibly a quorum of other governmental bodies of the municipality may be in attendance at the above-stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, contact the Development Services Department at 207 West 6th Street or by calling (715)486-2016.

CITY PLAN COMMISSION

April 18, 2023

PRESENT: Mayor Lois TeStrake, Chris Golden, John Kaprelian, Kim Fredrick

ABSENT: Mary Besler, Alan Johnson, Nick Poeschel

OTHERS: Bryce Hembrook, SEH Planner; Steve Barg, City Administrator

Mayor TeStrake called the meeting to order at 7:00 p.m. in the City Hall Council Chambers.

PC23-06 Golden moved and Kaprelian seconded a motion to approve minutes of the January 17, 2023 Plan Commission meeting as presented.

Motion carried

Conflicts of interest: None

Citizen Comments: Nate Carter and his daughter Rosie Carter, 2701 South Apple Avenue, spoke in favor of the proposed ordinance to allow chickens on single-family lots, citing their experience of keeping chickens at their previous residence outside of the City of Marshfield. They addressed questions from Commissioners Golden and Fredrick.

PUBLIC HEARING - Conditional Use Permit request by (Nikolai Construction), representing Marshfield Fairgrounds Park, for the construction of a new covered cow wash bay on the west side of the existing cow barn for the property located at 502 East 17th Street (parcel 33-03468A), zoned "CD" Campus Development District.

Public Comments: None

Discussion: None

PC23-07 Golden moved and Kaprelian seconded the motion to approve a Conditional Use Permit request by Brad Larson (Nikolai Construction), representing Marshfield Fairgrounds Park, for the construction of a covered cow wash bay on the west side of the existing cow barn for the property located at 502 East 17th Street (parcel 33-03468A), zoned "CD" Campus Development District with the following conditions:

1. Conditional Use Permit exception to allow construction of a 2,352 square foot accessory structure as proposed.
2. The Marshfield Fairgrounds Park Campus Master Plan shall be updated, reviewed and approved by the end of August 2023.

Motion carried

PUBLIC HEARING – Municipal Code Amendment request by the City of Marshfield, to review a proposed ordinance to allow chickens on single-family lots. The proposed changes would amend Section 9-52 to include language on licensing requirements and adding a new section that describes the new chicken regulations. The proposed changes would also add language to Chapter 18 (Zoning Code) to allow Backyard Chickens as an Accessory Use permitted by right, in single- and two-family residential districts, and the agricultural zoning district, and establish Backyard Chickens as an Accessory Land Use. The proposed changes would also include an exception from the fence permit requirement for chicken pens.

Public Comments: Ordinance Officers Bob Larsen and Kayla Wolf stated that they are neutral on the proposed ordinance, but they have some concerns regarding enforcement, especially with those who will not come forward to get the required license. City Clerk Jessica Schiferl gave an update from the committee that has been looking into this issue. She noted that the licensing process and requirements in the ordinance are extensive. Laura Schilling, 1719 North Palmetto Avenue, asked who Ordinance Officers expect may cause problems, and they confirmed that it will likely be those who don't secure licenses for the chickens. Josh Bohman, 1411 Arlington Street, said that he has done some research on neighboring cities that allow chickens. He found that the experiences from Wausau and Stevens Point reflect the concerns expressed by Larsen and Wolf. They have not had trouble with those who get licenses, but there have been problems with some who don't go through the review process to secure licenses.

Discussion: Commission members reviewed the issue, and expressed their support for continuing discussion at a future meeting. Barg suggested, and members agreed, to the following: City staff will actively publicize that this ordinance is under consideration, and that they should provide their input before the next Commission meeting. The Commission will then have a full discussion at its May 16th meeting, after which the Commission may schedule the ordinance for a vote at the June 20th meeting, if formal consideration is deemed appropriate.

Appointment of Plan Commission member to the Historic Preservation Committee.

PC23-09 Mayor TeStrake moved and Kaprelian seconded the motion to appoint Fredrick as the Commission representative to the Historic Preservation Commission.

Motion carried

Appointment of new Town of McMillan Joint Plan Commission member.

Mayor TeStrake announced that this item would be postponed until a future meeting.

Items for future agendas: Hembrook reported there is one conditional use permit that may be on the May 16th Commission agenda. Beyond that, he is not aware of other items at this time.

Adjourn

Without objection, Mayor TeStrake declared the meeting adjourned at 7:42 p.m.

Respectfully submitted,



Steve Barg, City Administrator
CITY PLAN COMMISSION

TO: Plan Commission
FROM: Bryce Hembrook, AICP, Planner
DATE: May 16, 2023

RE: Conditional Use Request by Al Nikolai for an exception to the accessory structure area maximum requirements for a detached garage for properties located at 1415 East 20th Street (parcel 33-07312A) & 1500 Green Acres Drive (parcel 33-07312), zoned “SR-4 Single-Family Residential”.

Background

The subject properties are at 1415 East 20th Street and 1500 Green Acres Drive are located in the Green Acres Subdivision. The properties are currently owned by two different owners; however, if approved, they would combine the lots and the vacant lot will be sold to the owners located at 1415 East 20th Street. The proposed garage and the existing garage will exceed 1,500 square feet of accessory structure space; thus, requiring a Conditional Use Permit exception through Plan Commission and Common Council.

<i>Existing Land Use</i>	<i>Zoning</i>
Vacant and Single-family Residential	Single-Family Residential-4 (SR-4)

Adjacent Land Use and Zoning

<i>Existing Uses</i>		<i>Zoning</i>
North	Single-Family Residential	Single-Family Residential-4 (SR-4)
South	Single-Family Residential	Single-Family Residential-4 (SR-4)
East	Single-Family Residential	Single-Family Residential-4 (SR-4)
West	Single-Family Residential	Single-Family Residential-4 (SR-4)

Comprehensive Plan

<i>Land Use Recommendation</i>	<i>Land Use</i>
Future Land Use Map Recommendation	Low Density Residential

Analysis

Applicable Sections of the Municipal Code

- Section 18-65(8)(b): A combined total of 1,500 square feet of gross ground floor area of all accessory structures on the property is permitted by right when the ground floor area of the single-family principal structure is 1,200 square feet or greater in area. A combined total of 1,200 square feet of gross ground floor area of all accessory structures on the property is permitted by right when the ground floor area of the single-family principal structure is less than 1,200 square feet.

- Section 18-65(8)(e) requires a conditional use permit for exceptions to the maximum accessory structure areas permitted by code.
- Section 18-65(8)(f)2 allows for garages on vacant parcels if a deed restriction is recorded with the County.

The applicant is proposing to construct an 1,182 square foot detached garage on the vacant parcel. The applicant currently has a 576 square foot attached garage on the other property. Once the lots are combined, the total accessory structure square footage on the property will be approximately 1,758. The proposed garage will exceed the allowable accessory structure requirement by approximately 258 square feet. The proposed garage will be approximately 21.5' in height, which will be approximately the same height as the principal structure. The garage will be similar in appearance to the principal structure. Overall, staff does not foresee any adverse impacts resulting from allowing this exception.

The 2017 Wis. Act 67 notes that decisions to approve or deny a conditional use permit, and to attach conditions to said permit, must be supported by substantial evidence. Substantial evidence includes facts and information, and does not include personal preferences or speculation.

Conditional Use Review Criteria of 18-161(6)(c)

(c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

1. *Is in harmony with the recommendations of the Comprehensive Plan.*

Staff does not find any conflict with the proposed accessory structure and the Comprehensive Plan. The accessory structure is associated with a single-family residential property and the single-family use is recommended in the Future Land Use map for the subject parcel. The Comprehensive Plan does not specifically address accessory structures, but rather leaves these to the zoning ordinance to address.

2. *Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.*

Allowing this request will not likely result in substantial or undue adverse impacts on nearby properties or the character of the neighborhood. Once both parcels are combined, the subject lot will be a relatively large parcel. The approval of this request would not add additional traffic (beyond that associated with a single-family use) to the neighborhood.

3. *Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.*

Large garages are common in today's residential neighborhoods and the materials used for the new garage will be similar in appearance to the principal structure. The

proposed building coverage of the lot (17.2%) will be significantly less than the 30 percent maximum lot area permitted in the SR-4 zoning district.

4. *The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.*

No heat or bathrooms are planned for this addition and no additional utility hook-ups are required. In the event any additional utilities are needed, the property owner must obtain all applicable permits regarding utility connections to ensure no burdens are imposed.

5. *The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

Staff does not foresee any negative impacts in approving this request. Staff would recommend as a condition of approval that no additional accessory structure area beyond the 1,182 square foot garage addition included in this request be permitted on the property without Plan Commission and Common Council review and approval.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the revision with any exceptions, conditions, or modifications the Commission finds are justifiable and applicable to the request.
2. Denial of the revision with justification stated by the Plan Commission.
3. Table the request for further study.

Review and Consideration

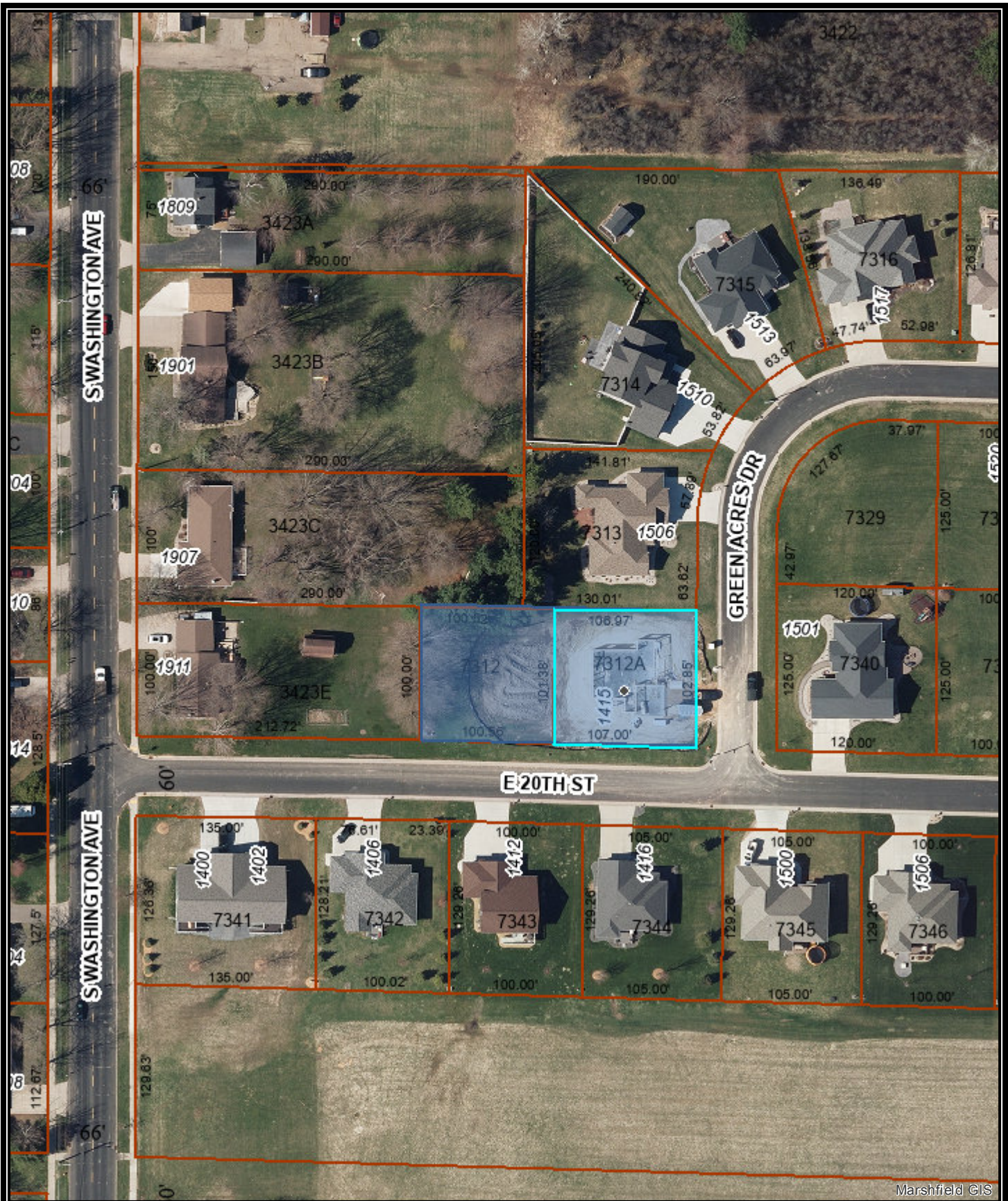
Staff recommends APPROVAL of the Conditional Use Request by Al Nikolai for an exception to the accessory structure area maximum requirements for a detached garage for properties located at 1415 East 20th Street (parcel 33-07312A) & 1500 Green Acres Drive (parcel 33-07312), zoned "SR-4 Single-Family Residential" with the following conditions:

1. Minor site plan changes may be administratively approved as long as the changes do not result in the development becoming non-compliant with this conditional use permit and/or other code requirements.
2. Conditional Use Permit exception to allow the construction of an 1,182 square foot detached garage as proposed, for a total of 1,758 square feet of all accessory structures on the property.
3. The garage may not be used for commercial purposes except if the property owner receives approval for a minor home occupation or a conditional home occupation.
4. The subject properties must be combined through a certified survey map. The building permit shall not be approved until the lot is combined. If the proposed certified survey map cannot be approved by the City, the applicant shall record a deed restriction with Wood County following the procedure in Section 18-65(8)(f)a.

5. Both properties shall be under the same ownership by the certified survey map submittal.

Attachments

1. Location Map
2. Site Plan
3. Building Elevations
4. Zoning Map

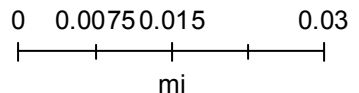


Marshfield GIS

City of Marshfield GIS Map

Author: City of Marshfield

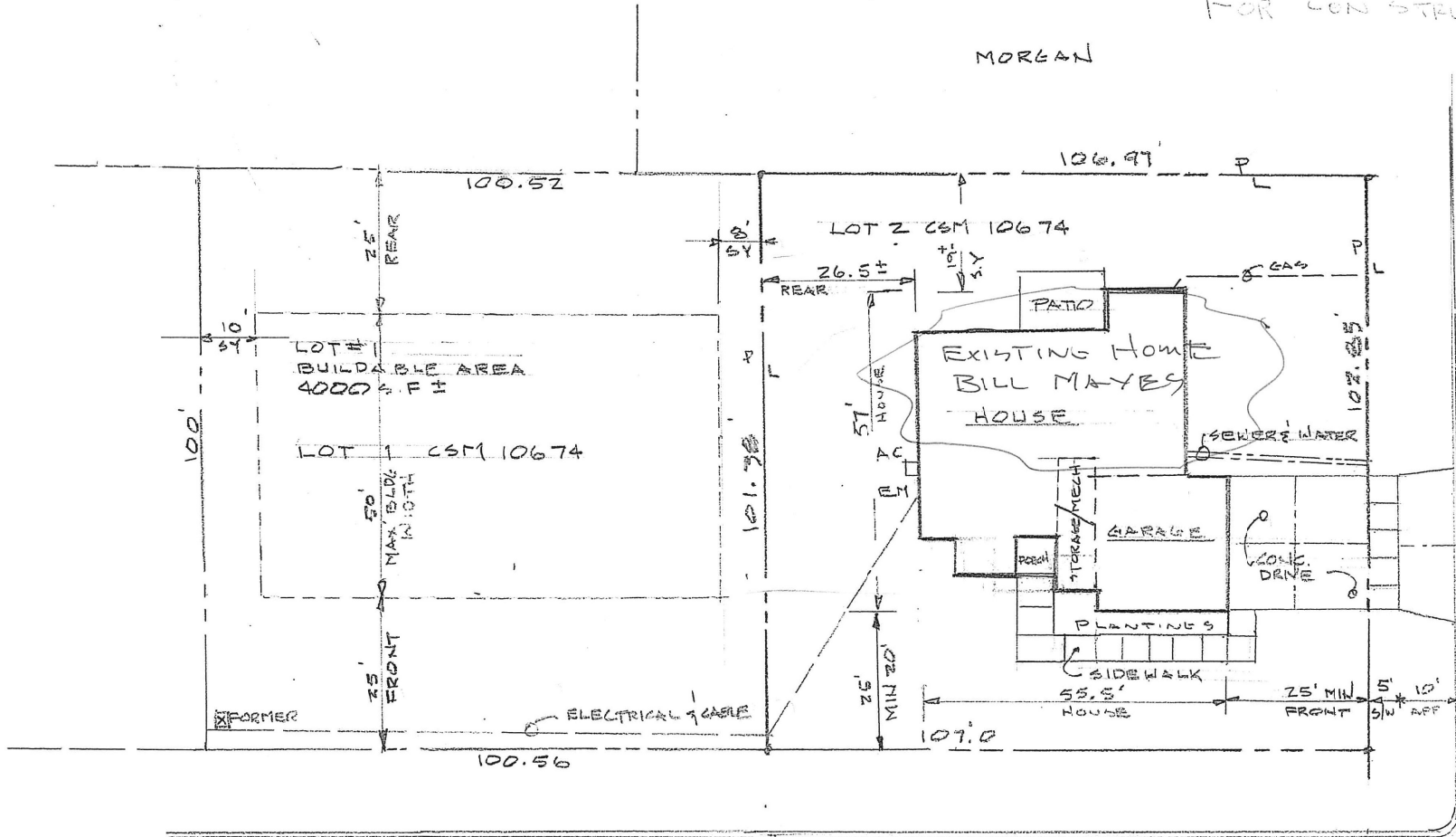
Printed: 5/11/2023



This is not a legal survey document. This map was compiled by the City of Marshfield's Geographic Information System based on interpretation of resources to the date printed herein.
Sources: City of Marshfield GIS Department

FOR CONSTRUCTION

MORGAN



GREEN ACRES DRIVE

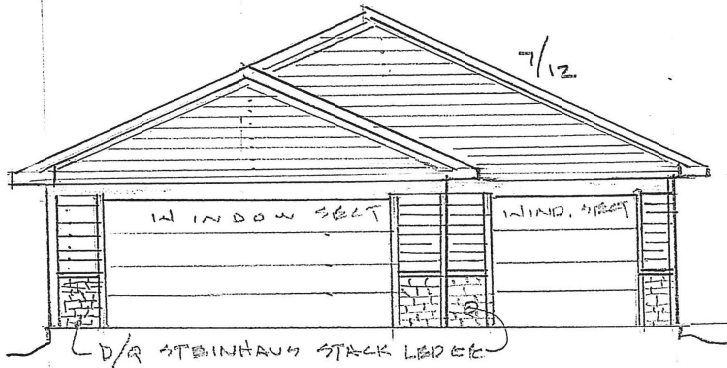
20TH STREET

OWNER: NIKOLAI PROPERTIES LLC
 1415 BAYT 20TH STREET
 NEW RESIDENCE
 LOT 2 CSM 10674
 MARSAFIELD, WI 54449

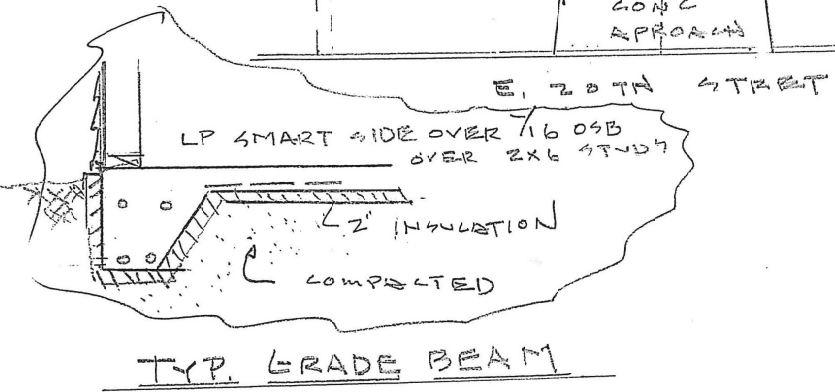
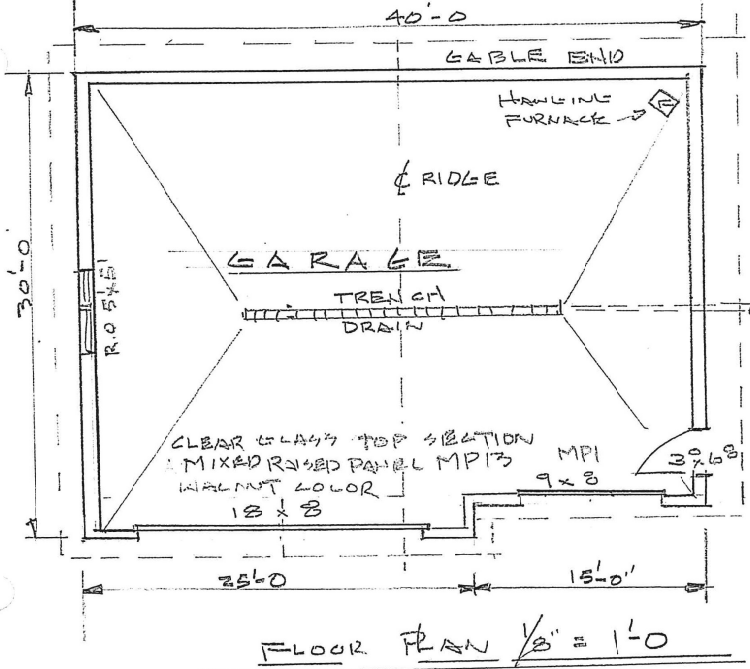
SCALE: 1" = 20' A. NIKOLAI

LANG LUMBER

- 2x6 STUDS @ 10'-0"
- 7/16" OSB WALL
- 1/2" OSB ROOF
- 0.4 DOOR MOULD (GABLE END)
- TYVEK

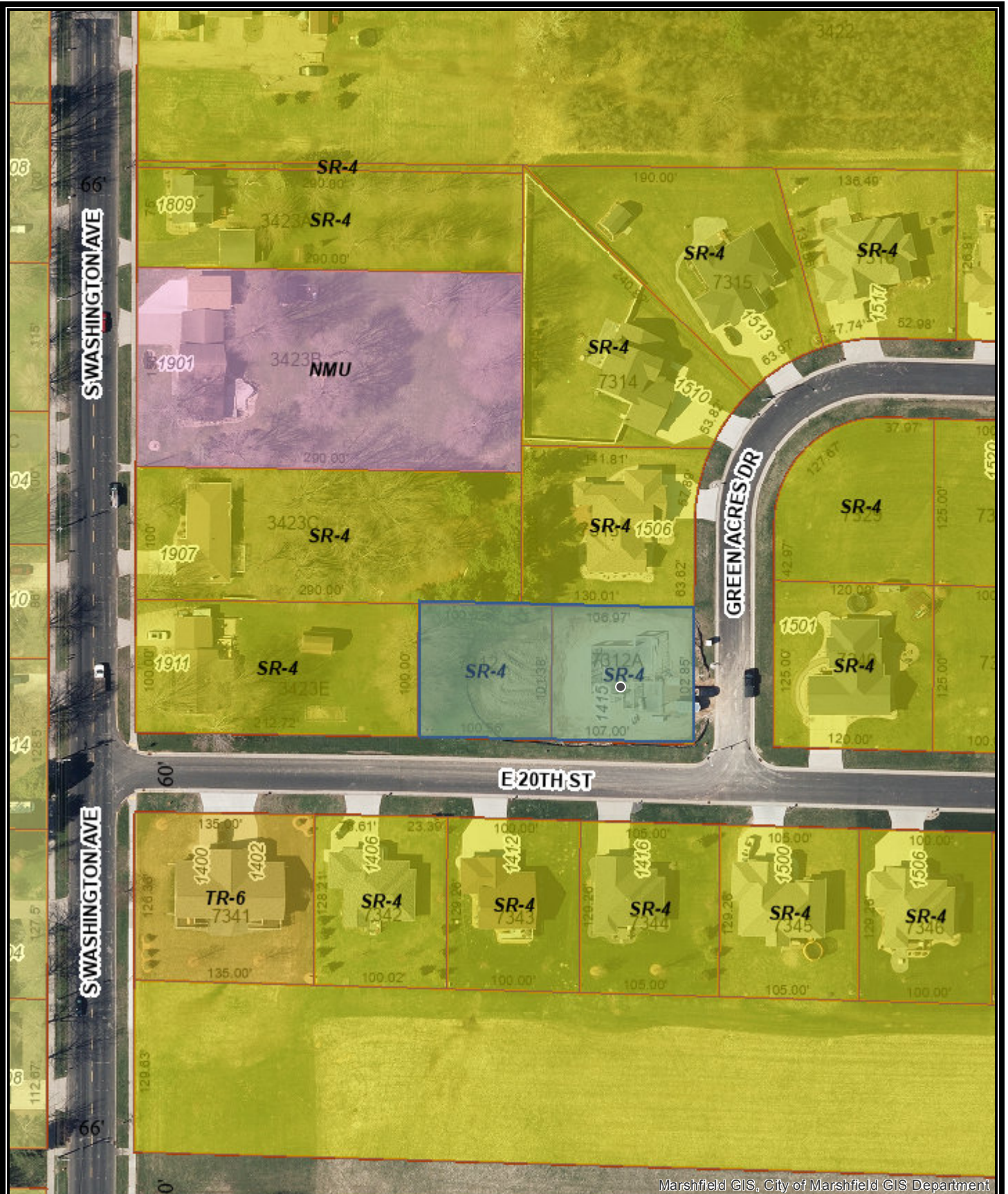


- FIELD SIDING: LP SUMMIT BLUE
- GABLE FRONT: LP TUNDRA GREY
- TRIM & SHADOW: LP QUARRY GREY
- FASLING & SOFT: WHITE
- SHINGLES: OR CAROLINE ESTATE GREY (UNDERLAYMENT)
- WINDOW: 1- ALIANCE D/A 5'x5'
- EXT. DOOR: 1- 3'x6' STYLE 24 W/D/B
- D.A. LARD: 1- 18'x8" & 1- 9'x8" WHITE 7/2"



GARAGE FOR
BILL & KIM MAYES

A. NIKOLA
NIKOLA PROPERTIES

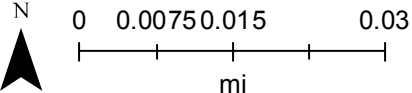


Marshfield GIS, City of Marshfield GIS Department

City of Marshfield GIS Map

Author: City of Marshfield

Printed: 5/11/2023



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TO: Plan Commission
FROM: Bryce Hembrook, AICP
 Planner
DATE: May 16, 2023

RE: Conditional Use Request by Mike Helmrick (Rettler Corporation), representing Marshfield School District, to construct pickleball courts and restrooms on the high school property located at 1401 East Becker Road (parcel 33-03197), zoned “CD Campus Development District”.

Background

The subject property at 1401 East Becker Road is located on the east-central side of the city and is the home of the Marshfield High School. The subject property is approximately 55.97 acres and the applicant is proposing to construct pickleball courts and a small bathroom facility on the east side of the property and to the south of the tennis courts. Pickleball is a popular recreational trend that is similar to tennis but on a smaller scale. The Marshfield High School has a campus master plan that identifies future projects and this project is not included in the plan. Since the project was not included in the plan, the project has to be approved as a conditional use or the campus master plan needs to be updated.

<i>Existing Land Use</i>	<i>Zoning</i>
Large Scale Indoor Institutional	Campus Development District (CD)

<i>Adjacent Existing Uses</i>		<i>Adjacent Zoning</i>
North	Farmland/forest	Rural Holding (RH-35)
East	Two-family residential and apartments	Two-Family Residential (TR-6) and Multi-Family Residential (MR-12)
South	Single-family residential	Two-Family Residential (TR-6)
West	Athletic fields and daycare facility	Campus Development (CD) and Planned Development (PD)

<i>Land Use Recommendation</i>	<i>Land Use</i>
Future Land Use Map Recommendation	General Institutional

Analysis

The applicant is proposing to construct a 8,385 square foot pickleball court on the east side of the property, to the south of the tennis courts. This pickleball court will consist of four individual pickleball courts, each 20 feet wide by 44 feet in length. The playing area will be surrounded by an 8 foot galvanized chain link fence. There will also be two 10’x10’ shade structures on the east

side of the playing area. The applicant is also proposing to add a small bathroom facility to the north of the proposed courts and will receive water and sewer service from existing stubs. Approximately 12 parking stalls are proposed, including one handicap accessible stall. Parking requirements for this type of use, active outdoor recreation, are generally established by the Zoning Administrator and the campus master plan also establishes parking requirements. Assuming all 4 courts are in use, there are up to 16 players at a time. Typically, athletic facilities generally require 1 parking stall per 4 expected patrons and staff believes this is adequate parking and there is additional parking provided near the tennis courts to the north. The proposed athletic facility and bathrooms meets all setback and other zoning requirements as set forth in the zoning code and campus master plan. Overall, staff does not foresee any adverse impacts resulting from allowing this project and the community will benefit from having another recreational option.

The 2017 Wis. Act 67 notes that decisions to approve or deny a conditional use permit, and to attach conditions to said permit, must be supported by substantial evidence. Substantial evidence includes facts and information, and does not include personal preferences or speculation.

Conditional Use Review Criteria of 18-161(6)(c)

(c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

1. Is in harmony with the recommendations of the Comprehensive Plan.

Staff does not find any conflict with the proposed project and the Comprehensive Plan. The high school property is home to a number of athletic facilities that provide recreational opportunities to the students. One of the main goals of the Comprehensive Plan is to “create and maintain a diverse offering of recreational facilities and healthy opportunities”.

2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.

Allowing this request will not likely result in substantial or undue adverse impacts on nearby properties or the character of the neighborhood. The subject lot is a relatively large parcel and this institutional land use has been located here for over a century. Additionally, there is a tennis court located to the north of the proposed pickleball courts and there have been no known issues related to the courts.

3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.

This project is not expected to negatively impact the consistency of the nearby land uses.

4. *The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.*

The site is adequately served by utilities and existing water and sewer service will be stubbed out from Hume Avenue.

5. *The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

Staff does not foresee any negative impacts in approving this request. Pickleball is one of the most popular new sports and is enjoyed by people of all ages. Providing more pickleball courts in the City is a benefit to the public because it provides additionally recreational opportunities.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the revision with any exceptions, conditions, or modifications the Commission finds are justifiable and applicable to the request.
2. Denial of the revision with justification stated by the Plan Commission.
3. Table the request for further study.

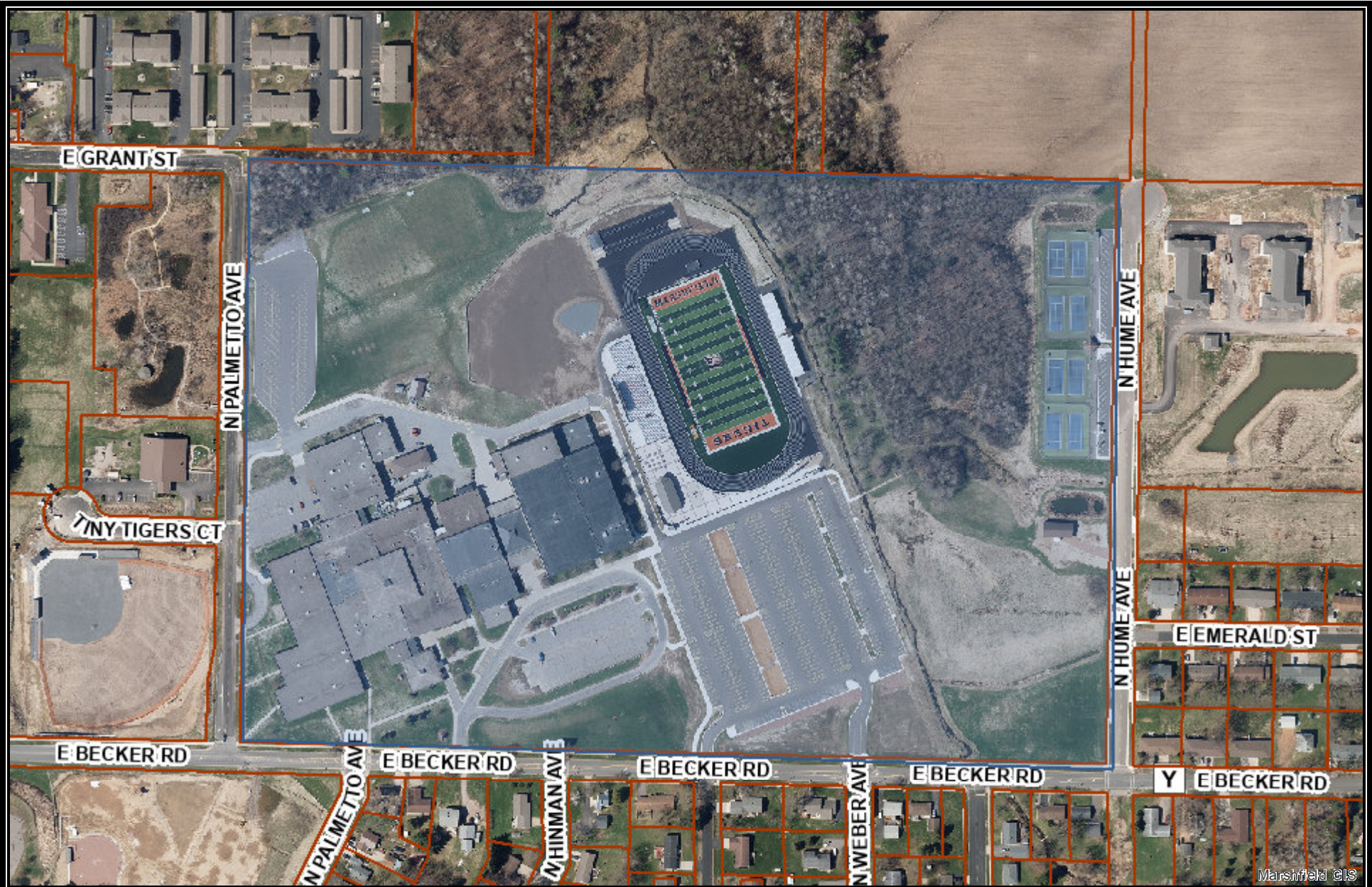
Review and Consideration

Staff recommends APPROVAL of the Conditional Use Request by Mike Helmrick (Rettler Corporation), representing Marshfield School District, to construct pickleball courts and restrooms on the high school property located at 1401 East Becker Road (parcel 33-03197), zoned "CD Campus Development District", with the following conditions:

1. Any future proposed buildings and/or structures exceeding 1,200 square feet require a conditional use permit.
2. The campus master plan shall be updated and approved, or in the process of approval, by August 31, 2023.

Attachments

1. Location Map
2. Site Plan
3. Zoning Map

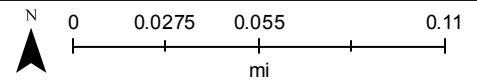


Marshfield GIS

City of Marshfield GIS Map

Author: City of Marshfield

Printed: 5/12/2023



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Sources: City of Marshfield GIS Department

REV	DATE	ISSUED FOR
04/26/23		CONDITIONAL USE

SITE LAYOUT - GENERAL NOTES

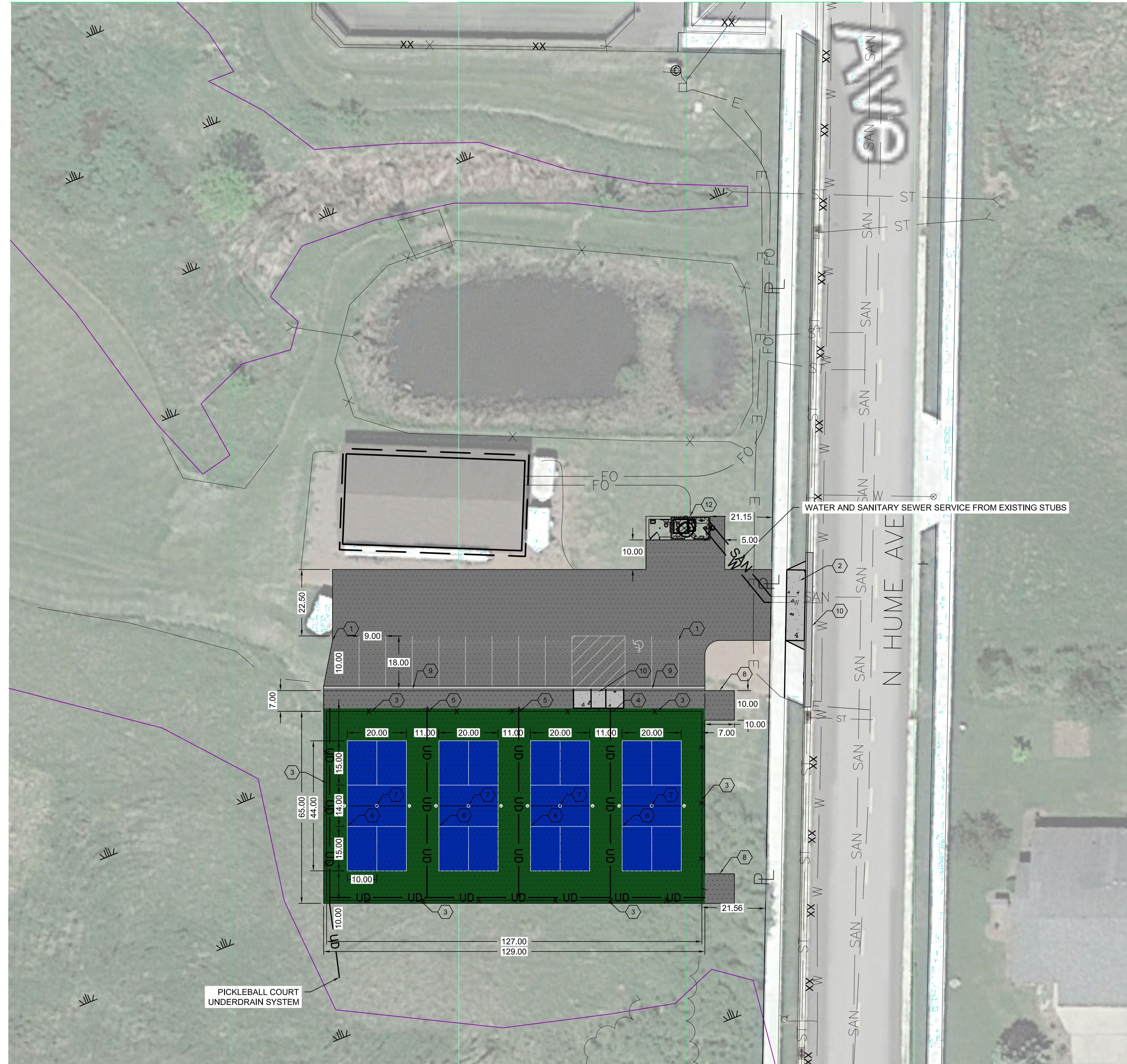
1. CONTRACTOR SHALL CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING PRIVATE UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
3. ALL NEW ADA PARKING, CROSSWALKS AND SIDEWALKS SHALL MEET ADA REQUIREMENTS. CONTRACTOR TO REMOVE AND REPLACE ANY NON CONFORMING PAVEMENT.
4. ALL PROPOSED DIMENSIONS ARE REFERENCED PARALLEL OR PERPENDICULAR TO THE PROPOSED FEATURES SHOWN.
5. SEED, FERTILIZE, AND CRIMP MULCH ALL GENERAL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROJECT MANUAL SPECIFICATIONS.
6. ALL CONTRACTORS SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID.

SITE LAYOUT - LEGEND

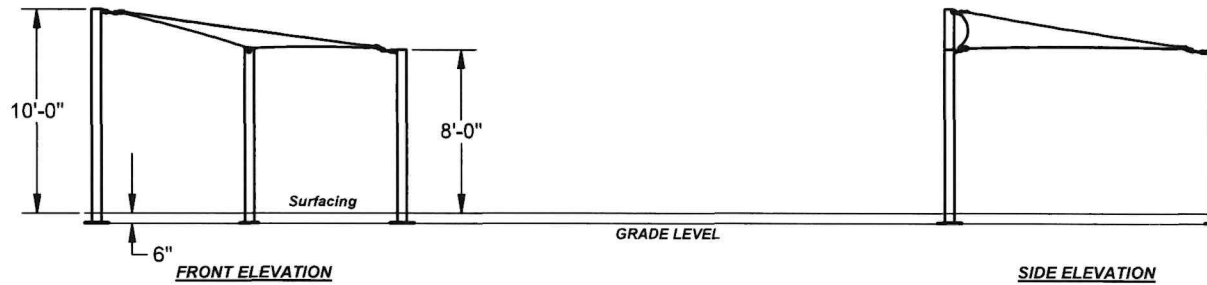
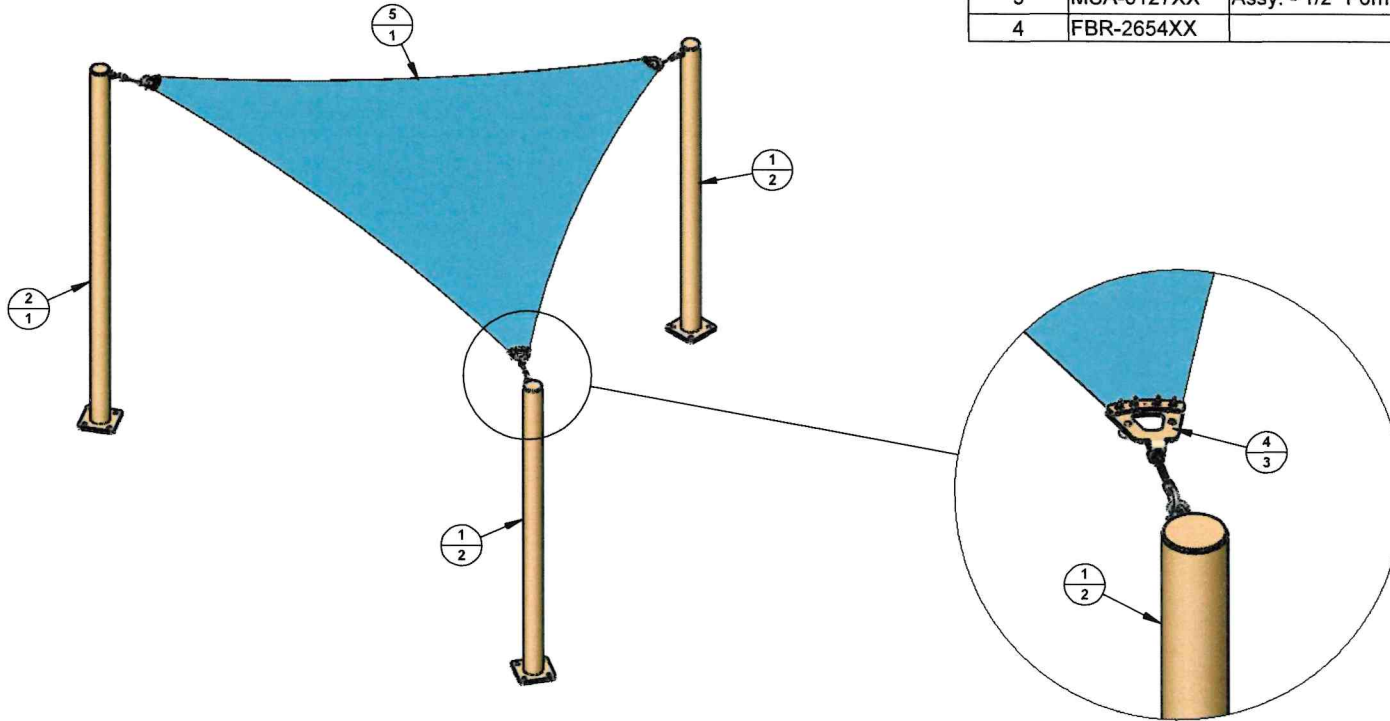
- HOT MIX ASPHALT, 3.0" DEPTH
 1 1/2" BASE AGGREGATE DENSE, 8" DEPTH
- CONCRETE PAVEMENT, 5.0" DEPTH
 3/4" BASE AGGREGATE DENSE, 6" DEPTH

SITE LAYOUT KEYNOTES

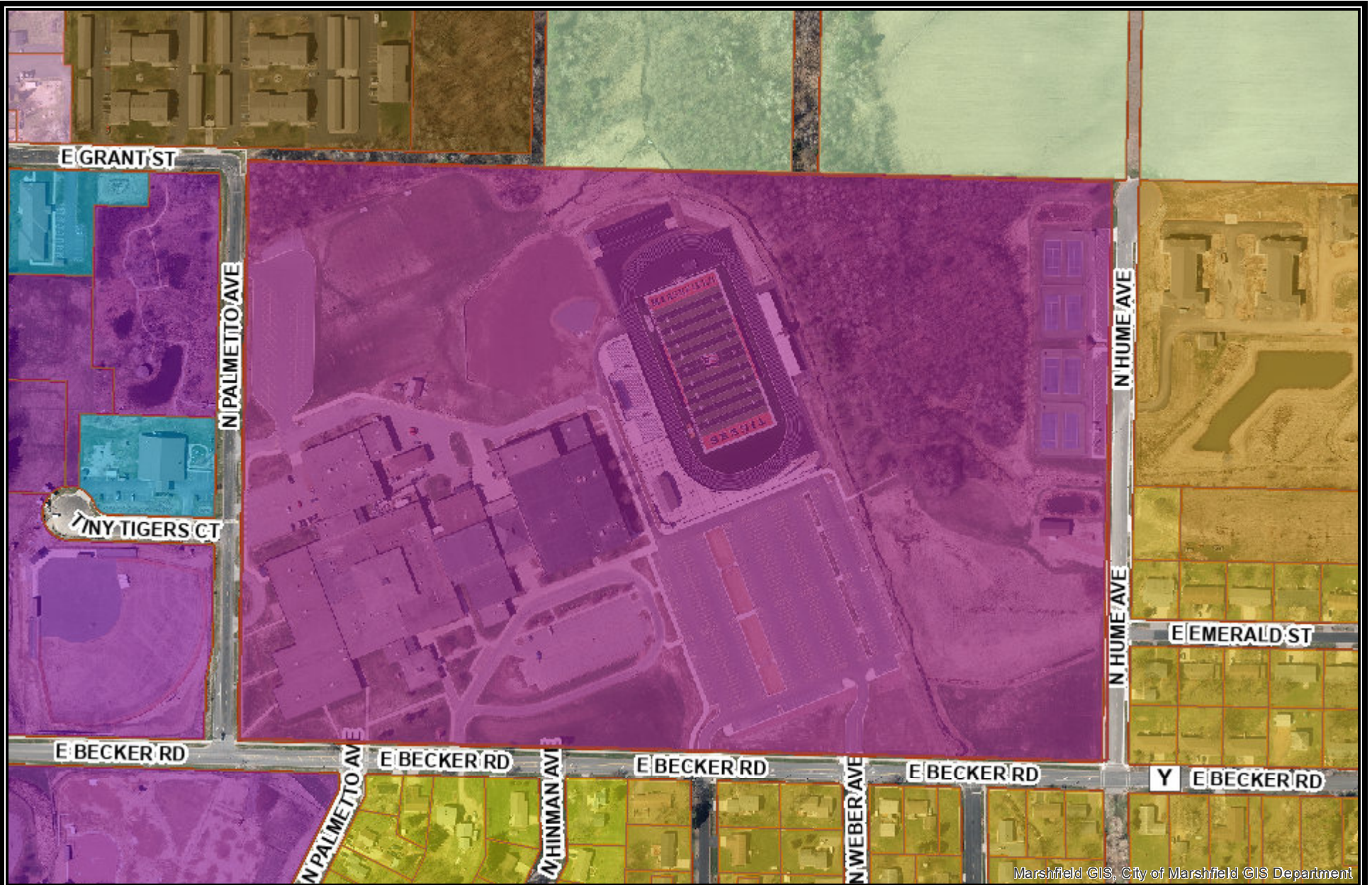
- 1 PAVEMENT STRIPING - WHITE
- 2 TYPE Z DRIVEWAY AND SIDEWALK CURB CUT
- 3 8' H GALVANIZED CHAIN LINK FENCE
- 4 8' H X 12' W GALVANIZED CHAIN LINK FENCE GATE
- 5 8' H X 4' W GALVANIZED CHAIN LINK FENCE GATE
- 6 PICKLEBALL COURT STRIPING
- 7 PICKLEBALL NET, CENTER STRAP ANCHOR AND NET POSTS
- 8 10'X10' PLAZA WITH SHADE STRUCTURE
- 9 18" ACCEPTING CURB AND GUTTER
- 10 SIDEWALK DEPRESSION
- 11 REPLACE STREET SIDEWALK
- 12 RESTROOM BUILDING



ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	PSA-5366XX	Column - BP 5 9/16" OD x 102 1/2" w/ Small Sail Bracket	2
2	PSA-4472XX	Column - BP 5 9/16" OD x 126 1/2" w/ Small Sail Bracket	1
3	MSA-0127XX	Assy. - 1/2" Formed Fan Tension Drive With 3/8" Shackle	3
4	FBR-2654XX	Fabric	1



SUPERIOR SHADE 150 ADAMSON INDUSTRIAL BOULEVARD CARROLLTON, GA 30117 1-888-829-8997	DESCRIPTION: (3) Columns (1) Triangle Sail		
	SCALE: Varies	SHADE STYLE: TRI SAIL	SHEET: 1 of 3
	DATE:	UNITS: INCHES / FEET	PROPOSAL NO:

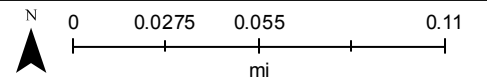


Marshfield GIS, City of Marshfield GIS Department

City of Marshfield GIS Map

Author: City of Marshfield

Printed: 5/12/2023



This is not a legal survey document. This map was compiled by the City of Marshfield's Geographic Information System based on interpretation of resources to the date printed herein.

Sources: City of Marshfield GIS Department

TO: Plan Commission
FROM: Bryce Hembrook, AICP
 Planner
DATE: May 16, 2023

RE: Conditional Use Request by Scott Boson (Boson Construction), representing Sacred Heart, to allow a Large Scale Indoor Institutional Land Use, to allow for a building addition, for the property located at 1011 South Central Avenue (parcel 33-00217), zoned “UMU Urban Mixed Use.

Background

The subject property at 1011 South Central Avenue is located on the south-central side of the city and consists of the Sacred Heart Church and Parish Office. The subject property is approximately 2 acres and the applicant is proposing to construct a 6,232 building addition that will connect to the existing church. The current land use on the property is small scale indoor institutional and the new addition will result in the land use becoming a large scale indoor institutional land use, which requires a conditional use in the UMU zoning district. The proposed building addition will be roughly located where the former parish school was until it was torn down a few years ago, but on a smaller scale.

<i>Existing Land Use</i>	<i>Zoning</i>
Small Scale Indoor Institutional	Urban Mixed Use (UMU)

<i>Adjacent Existing Uses</i>		<i>Adjacent Zoning</i>
North	Single-family and multi-family residential	Urban Mixed Use (UMU) and Single-Family Residential (SR-6)
East	Dance studio/vacant land and single- & two-family residential	Urban Mixed Use (UMU) and Single-Family Residential (SR-6)
South	Single-family residential	Urban Mixed Use (UMU) and Single-Family Residential (SR-6)
West	Single-family residential, commercial (vacant), and vacant land	Urban Mixed Use (UMU)

<i>Land Use Recommendation</i>	<i>Land Use</i>
Future Land Use Map Recommendation	Transitional Mixed Use

Analysis

The applicant is proposing to construct a 6,232 square foot wood framed building to be used as a parish hall for assemblies and educational purposes. The addition will connect to the church and there will be a new handicap accessible entrance on the northeast side of the addition. The addition to the church building (8,595 square feet) will increase the total building size to 14,827 square feet. The principal land use on the site is now considered to be large scale indoor institutional because there is greater than 10,000 gross square feet of buildings used for institutional purposes. The site was previously considered large scale indoor institutional when the school building was standing, but it was considered to be legal, non-conforming and any addition or new building would require a conditional use permit as well.

The new addition will require new landscaping to be added along the Central Avenue. Only 12 landscaping points are required, which is equivalent to 4 small shrubs. Applicant should add the required landscaping to the site plan for final review by the City Planner. Additionally, no additional parking is required because the use is used in conjunction with the church and generally there is no additional traffic expected. Also, there is sufficient space to add parking on the lot if needed in the future. The proposed structure meets all setback and other zoning requirements as set forth in the zoning code. Overall, staff does not foresee any adverse impacts resulting from allowing this exception.

The 2017 Wis. Act 67 notes that decisions to approve or deny a conditional use permit, and to attach conditions to said permit, must be supported by substantial evidence. Substantial evidence includes facts and information, and does not include personal preferences or speculation.

Conditional Use Review Criteria of 18-161(6)(c)

(c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

- 1. Is in harmony with the recommendations of the Comprehensive Plan.*

Staff does not find any conflict with the proposed parish hall and the Comprehensive Plan. The property has been used as a church, school, and parish rectory since pre-1920's and this proposed addition will be complimentary to the existing buildings on-site.

- 2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.*

Allowing this request will not likely result in substantial or undue adverse impacts on nearby properties or the character of the neighborhood. The subject lot is a relatively large parcel and this institutional land use has been located here for over a century.

3. *Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.*

This addition is not expected to negatively impact the consistency of the nearby land uses.

4. *The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.*

The site is adequately served by utilities.

5. *The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

Staff does not foresee any negative impacts in approving this request.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the revision with any exceptions, conditions, or modifications the Commission finds are justifiable and applicable to the request.
2. Denial of the revision with justification stated by the Plan Commission.
3. Table the request for further study.

Review and Consideration

Staff recommends APPROVAL of the Conditional Use Request by Scott Boson (Boson Construction), representing Sacred Heart, to allow a Large Scale Indoor Institutional Land Use, to allow for a building addition, for the property located at 1011 South Central Avenue (parcel 33-00217), zoned "UMU Urban Mixed Use with the following conditions:

1. Any future proposed buildings and/or structures exceeding 1,200 square feet require an amendment to this conditional use permit.
2. The open space area to the south and west of the addition shall be seeded or sodded with an acceptable maintainable turf grass or other landscape features. Mulch of plantings or planting beds is acceptable provided that such mulching consists of organic or natural materials.
3. Proposed landscaping shall be added to the final site plan and submitted to the City Planner for final approval. A minimum of 12 landscaping points is required along Central Avenue.

Attachments

1. Location Map
2. Site Plan
3. Zoning Map

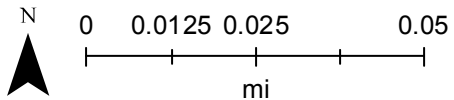


Marshfield GIS

City of Marshfield GIS Map

Author: City of Marshfield

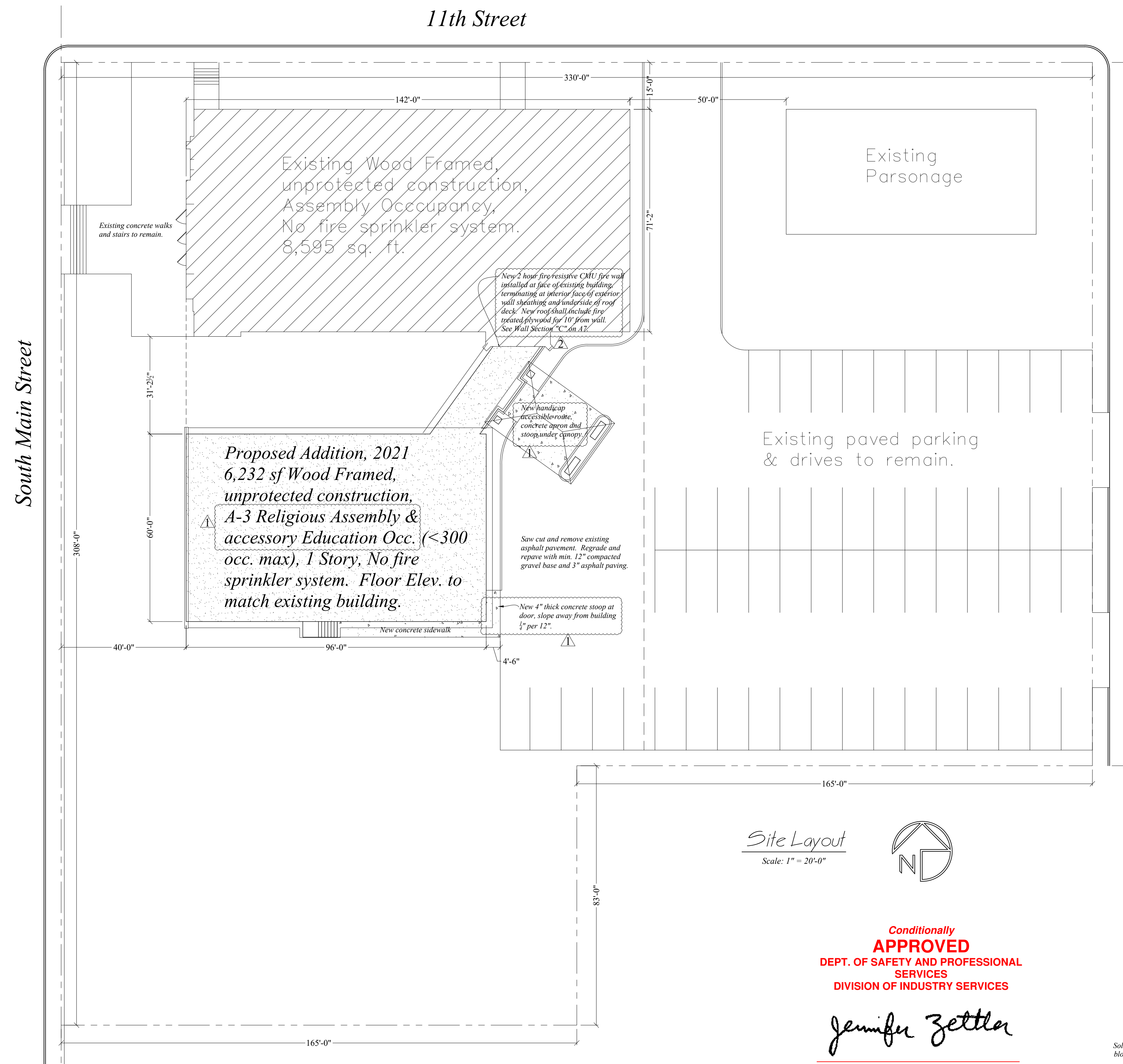
Printed: 5/11/2023



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Sources: City of Marshfield GIS Department

Sacred Heart of Jesus Catholic Church

Marshfield, WI



Building & Code Data:

- Codes & Standards:**
 - International Building Code - 2015
 - *Group A-3 - Church Fellowship Assembly & Sunday School Classroom occupancy, non-separated uses
 - *Type 5B - Combustible, unprotected construction
 - *No Fire Sprinkler System
 - *Maximum Height per Table 504.3 = 40'
 - *Maximum 1 story per Table 504.4
 - *Allowable Floor Area per Table 506.3 = 6,000 sf
 - Allowable area increase for frontage in 1 story building $I_f = [(368/368) * 20/30] - .25$
 - = [0.67] - .25 = frontage increase %
 - = (42% * 6000 sf) + 6000 sf = 8,520 sf allowable
 - Actual Floor Area = 6,232 sf
 - Accessory Use Canopy, Group U=600 sf (<10% of floor)

2. Foundations have been designed with assumed Soil Bearing Capacity = 2000 psf

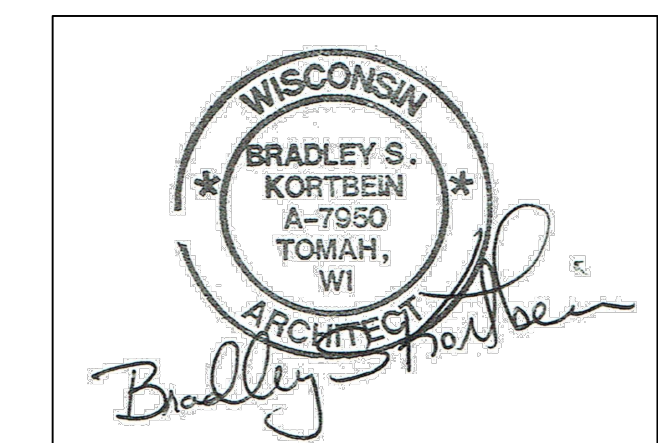
- Egress:**
 - Per Table 1004.1.1 - Assembly, Classroom area - 20sf/occ, net Fellowship Hall - 15sf/occ, gross
 - Total occupant load of Fellowship = 146
 - Total occupant load of Sunday School classrooms = 90 (9 classrooms of 10 occ each)
 - Per Table 1016.1, A occupancy, without sprinkler system, Max. Exit Distance = 200'

4. Structural Loads:

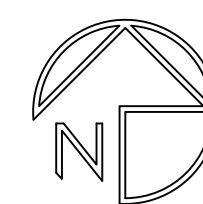
- Seismic**
- Occupancy Category = 2
 - Earthquake Site Classification = D
 - Seismic Use Group II
 - Seismic Importance Factor = 1.0
 - Seismic Design Category = A
- Snow**
- Ground Snow Load = 50 psf
 - Snow Load Importance Factor = 1.0
 - Snow Load Exposure Factor = 1.0
 - Sloped Roof factor = 1.0
 - Roof Thermal Factor = 1.1
 - Roof Snow Load = 38.0 psf
- Wind:**
- Exposure Category = C
 - Wind Speed = 115 mph
 - Fully Exposed Roof
 - Wind Load Importance Factor = 1.0
- Dead:**
- Roof Dead Load, top chord = 8 psf, btm chord = 7 psf

DRAWING SCHEDULE

SHEET	DESCRIPTION	DATED
A1	Site Plan & Code Data	6/13/22
A2	Floor Plan	6/13/22
A3	South & West Elevations	6/13/22
A4	Elevations	6/6/22
A5	Foundation Plan	6/6/22
A6	Roof Framing Plan	6/6/22
A7	Building Section	6/13/22
A8	Canopy Plan & Section	6/6/22
A9	Specifications & Schedules	6/6/22
H1	HVAC Plan & Specifications	6/6/22
E1	Lighting Plan & Electrical Specifications	4/22/22



Site Layout
Scale: 1" = 20'-0"

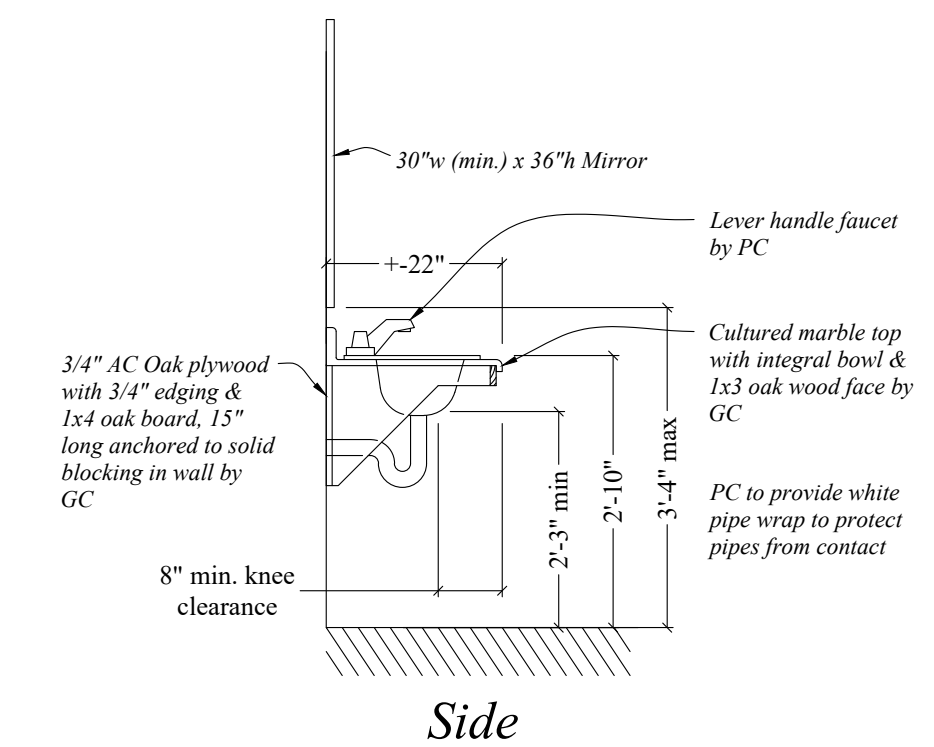
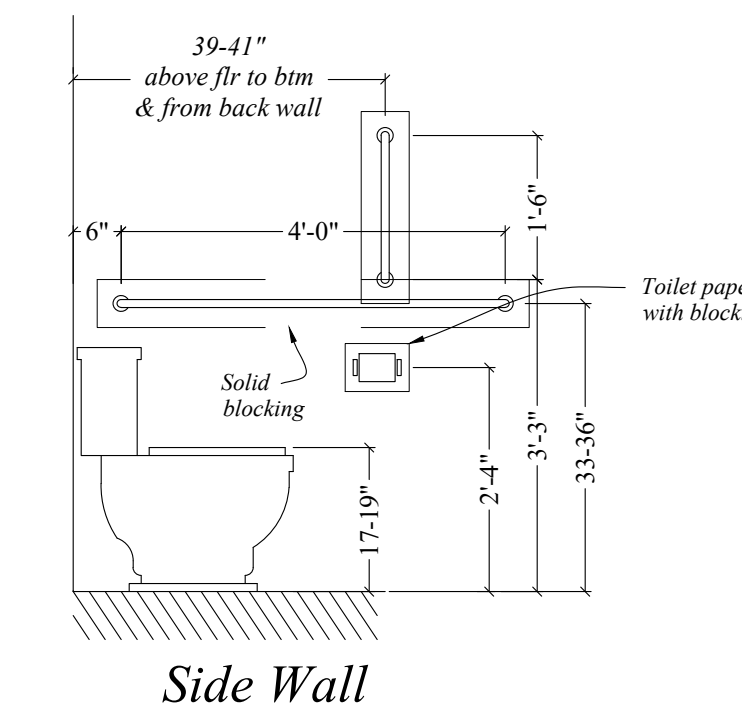
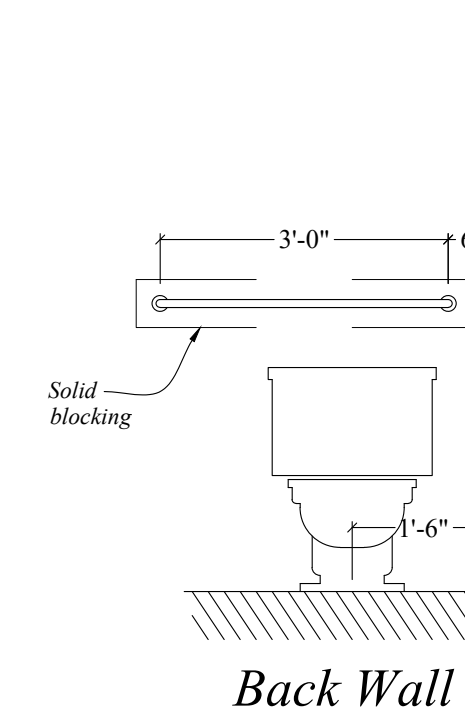


Conditionally APPROVED
DEPT. OF SAFETY AND PROFESSIONAL SERVICES
DIVISION OF INDUSTRY SERVICES

Jennifer Zettler

SEE CORRESPONDENCE

Building + HVAC Addition
DIS-042220172
CB-062200308-PRBH
June 15, 2022



Grab Bars at Water Closets
Scale: 1/2" = 1'-0"

Vanity Detail
Scale: 1/2" = 1'-0"

Cornerstone Architects, LLC

Designing the Future
6154 Swetten Boulevard
Punta Gorda, FL 33982
Voice: 608-343-0211 Email: bradkortbein@gmail.com

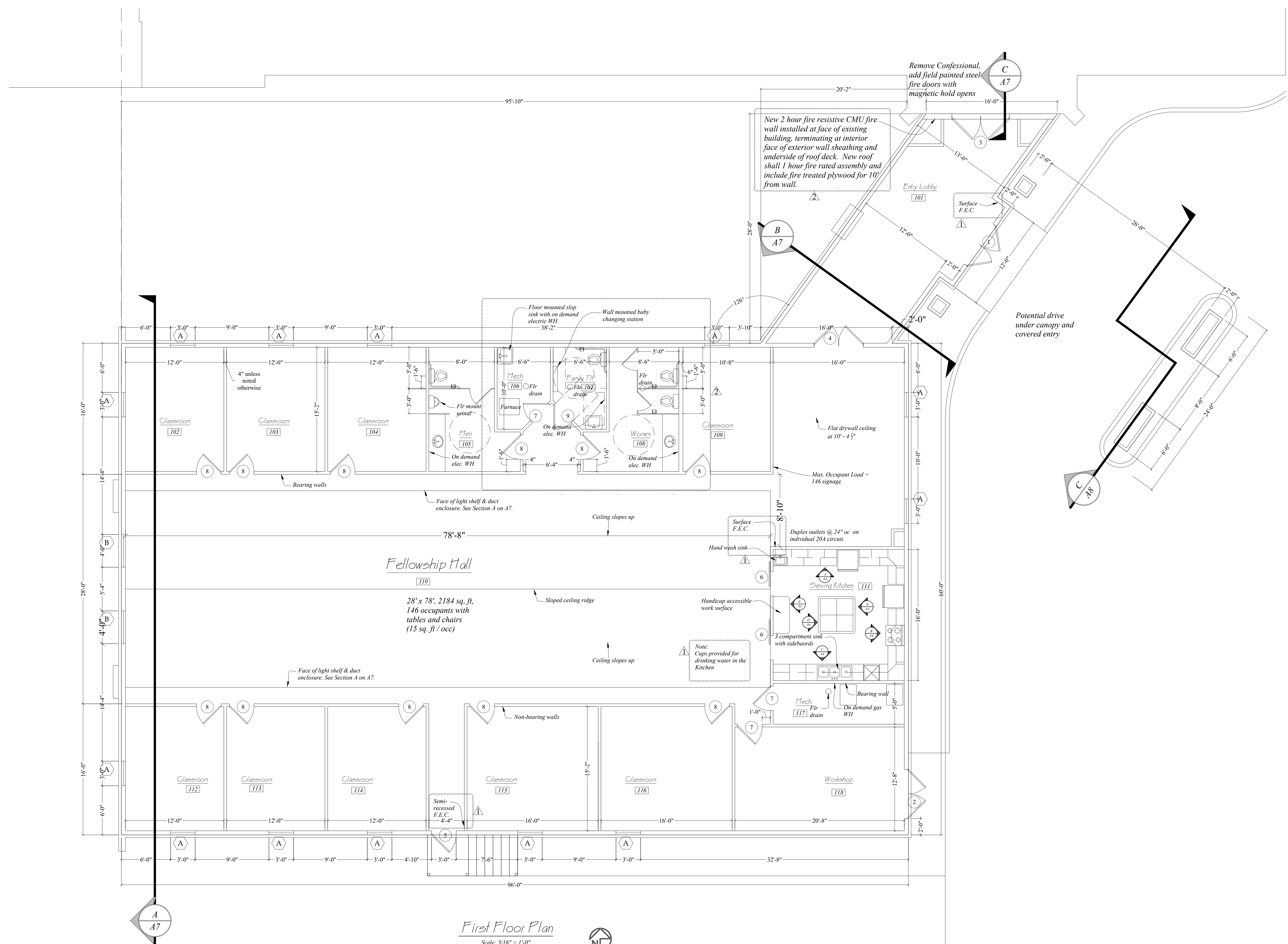
Sacred Heart of Jesus Catholic Church
Proposed Multi-Purpose Addition, 2021
112 E. 11th Street, Marshfield, WI 54449

Project:

Sheet Description	Site Plan & Code Data
By:	ak
Date:	6/22/22
Last Revision:	1
Scale:	as noted
File:	
Revision Date:	6/13/22

Sheet No.

A1



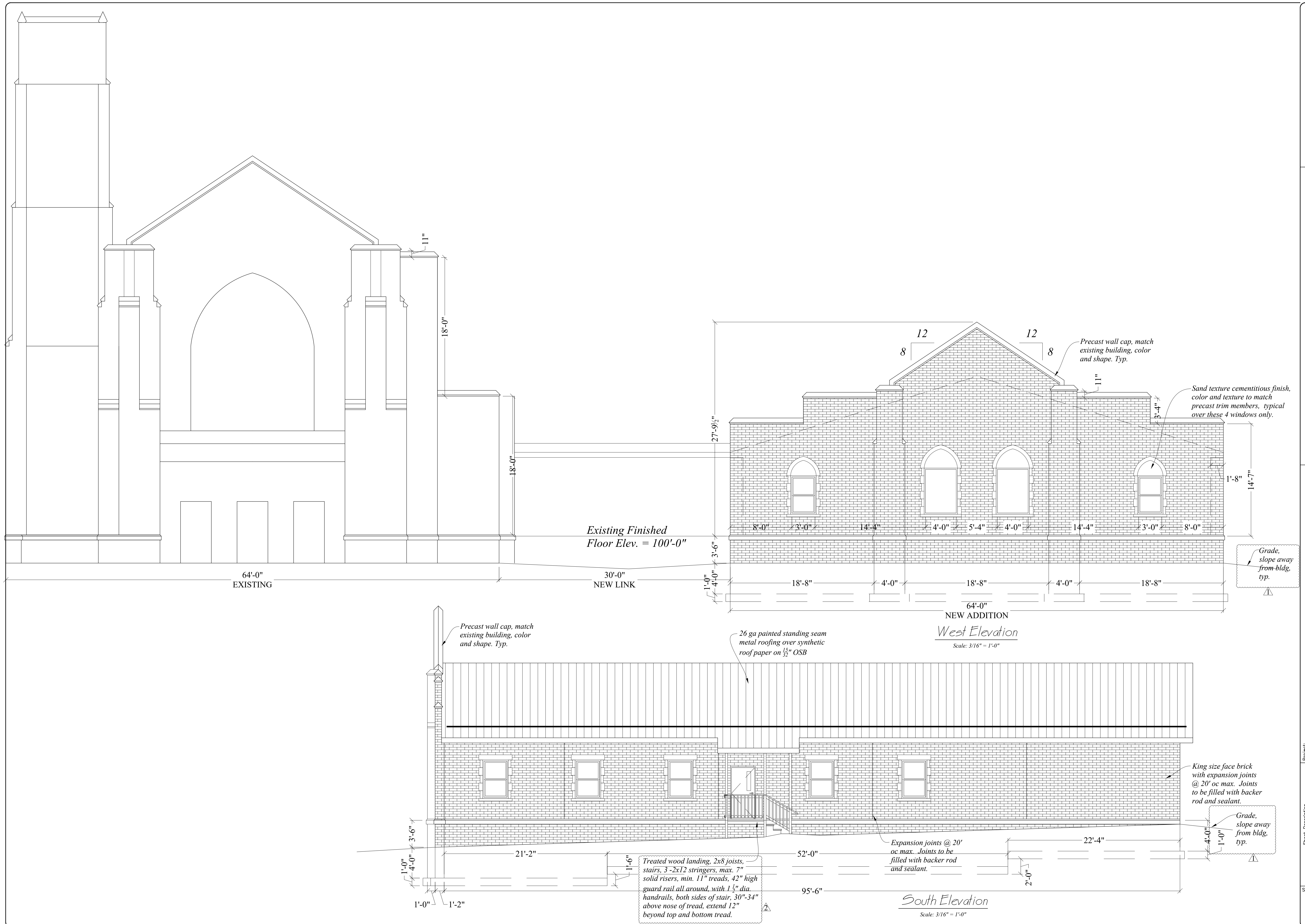
Fellowship Hall

28' x 78', 2184 sq. ft.
146 occupants with
tables and chairs
(15 sq. ft / occ)

First Floor Plan
Scale: 3/16" = 1'-0"

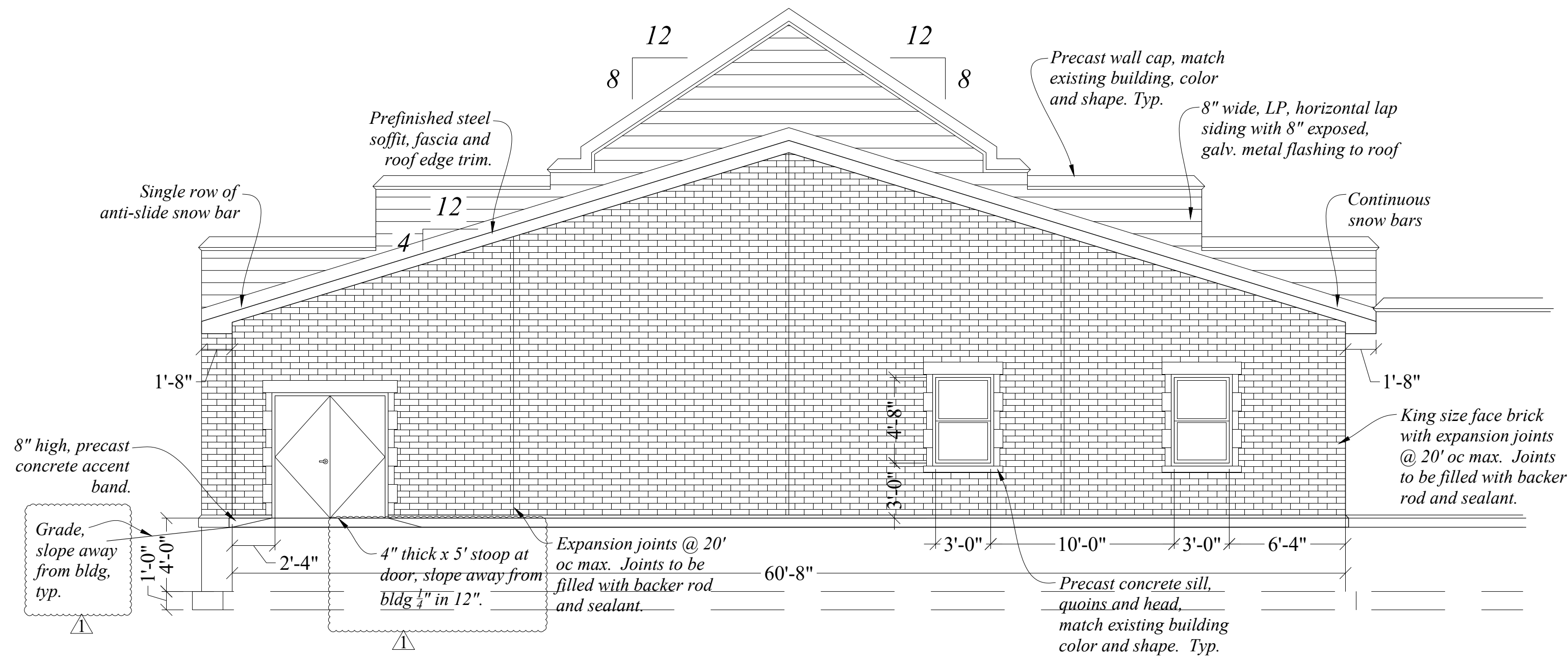


Project:	Sacred Heart of Jesus Catholic Church Proposed Fellowship & Classroom Addition		
Sheet Description:	Floor Plan		
By:	mk	Scale:	as noted
Date:	4/22/22	File:	
Last Revision:		Revision Date:	6/13/22

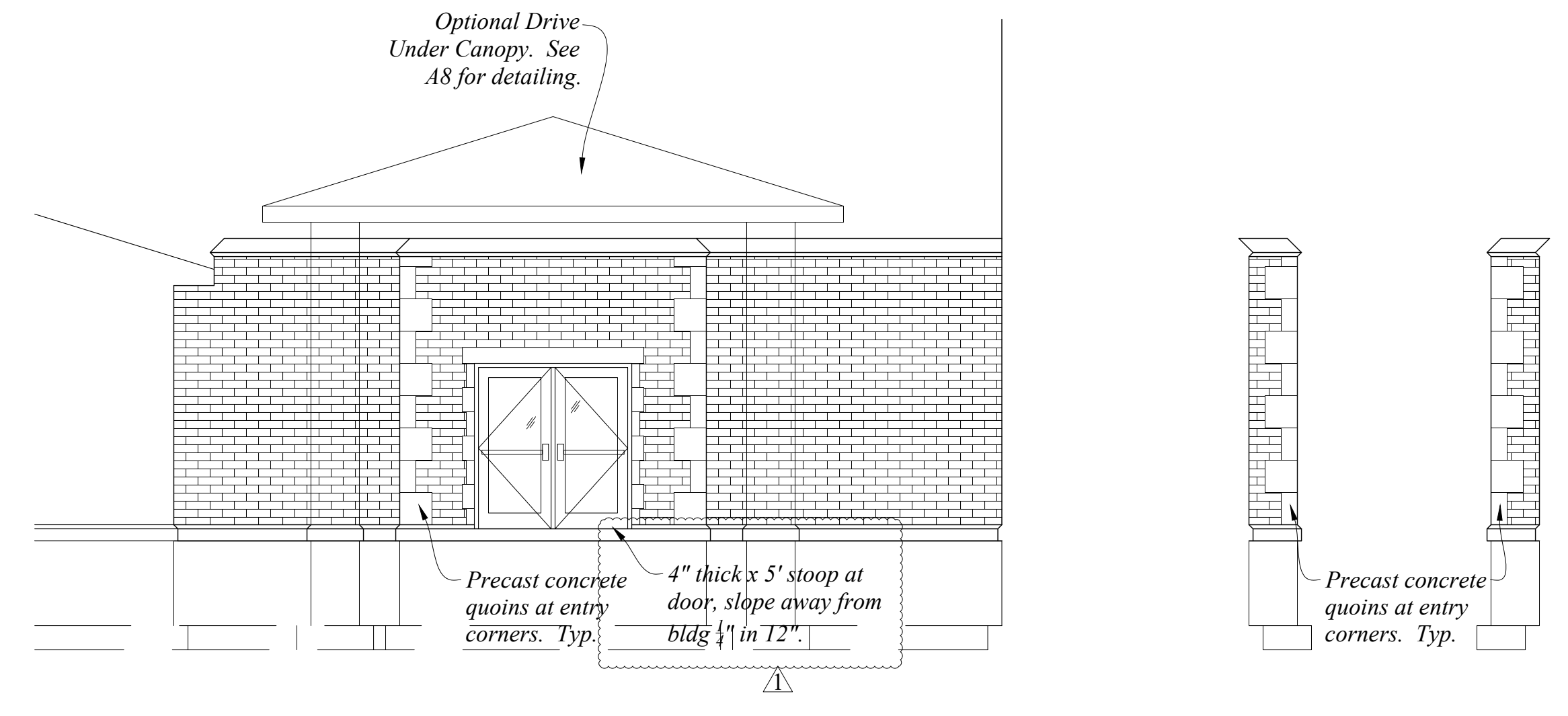


Project: South & West Elevation

By: ink	Scale: 1/8" = 1'-0"
Date: 4/22/22	File: 4/22/22
Last Revision:	Revision Date: 6/13/22

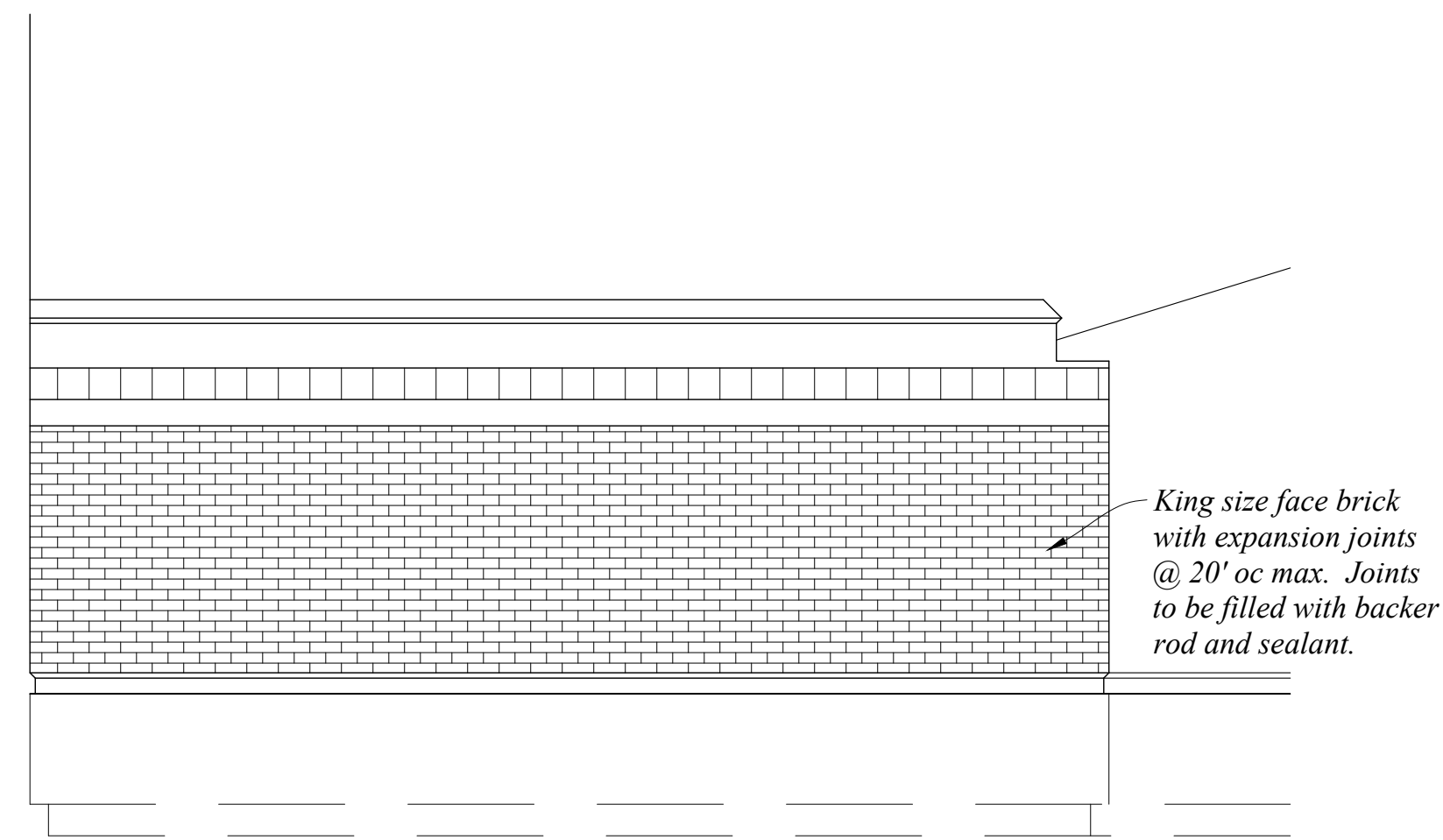


East Elevation
Scale: 3/16" = 1'-0"

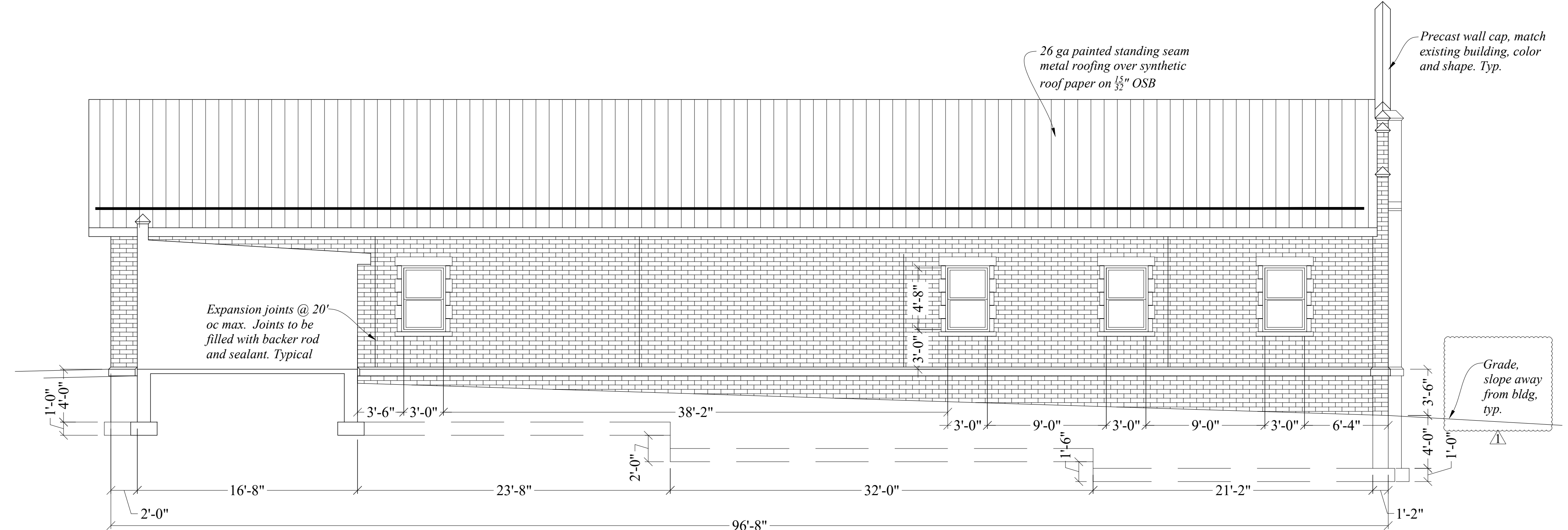


East Entry Elevation
Scale: 3/16" = 1'-0"

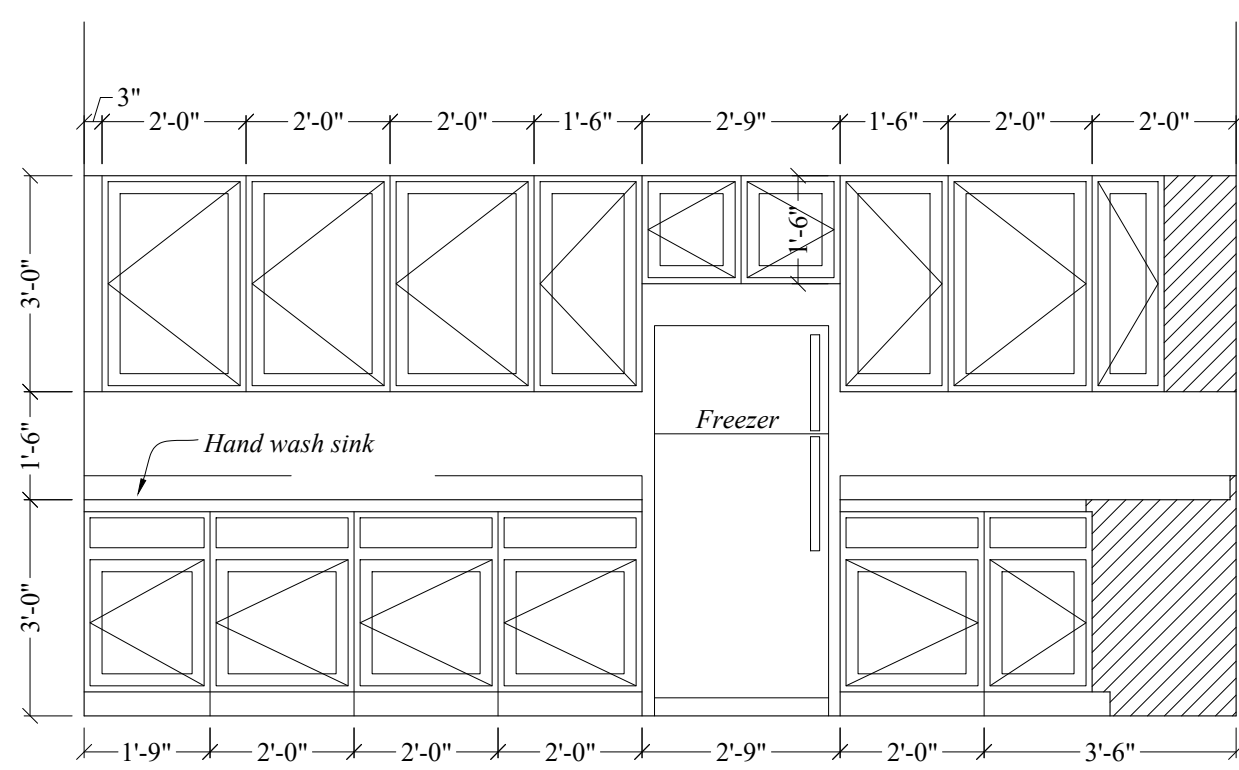
Entry Extension Walls
Scale: 3/16" = 1'-0"



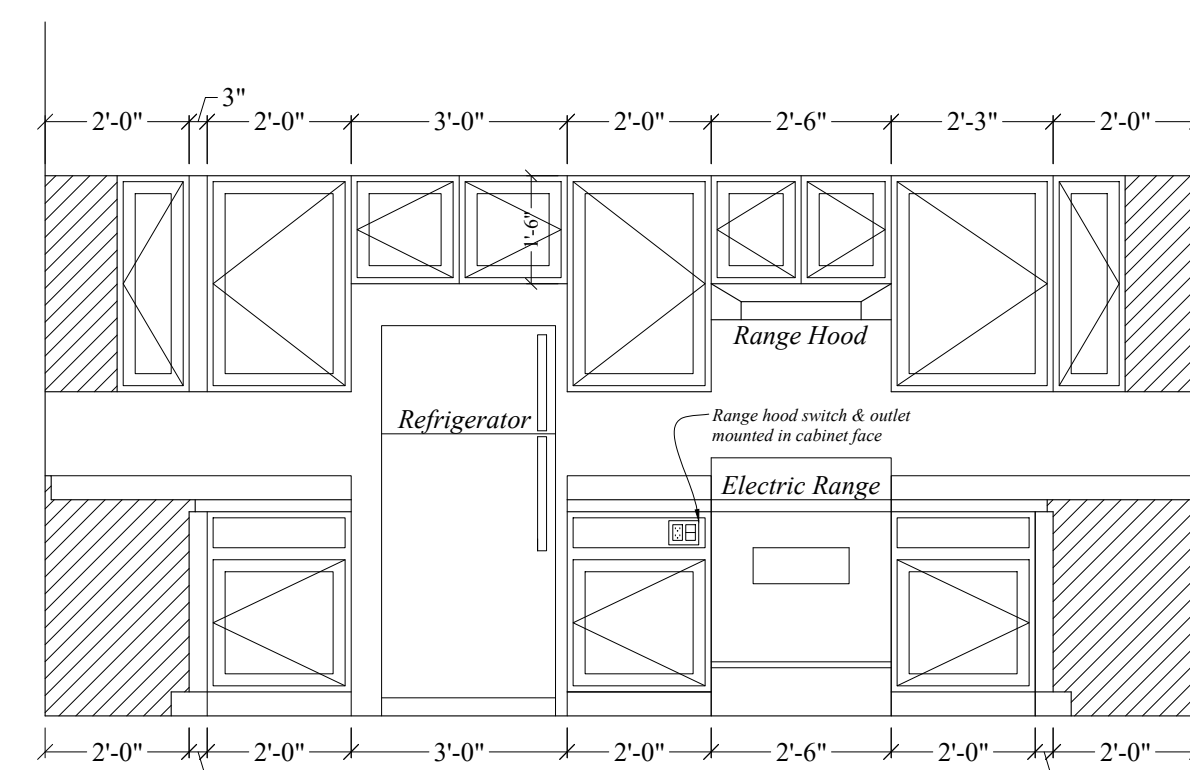
Connecting Link - West Elevation
Scale: 3/16" = 1'-0"



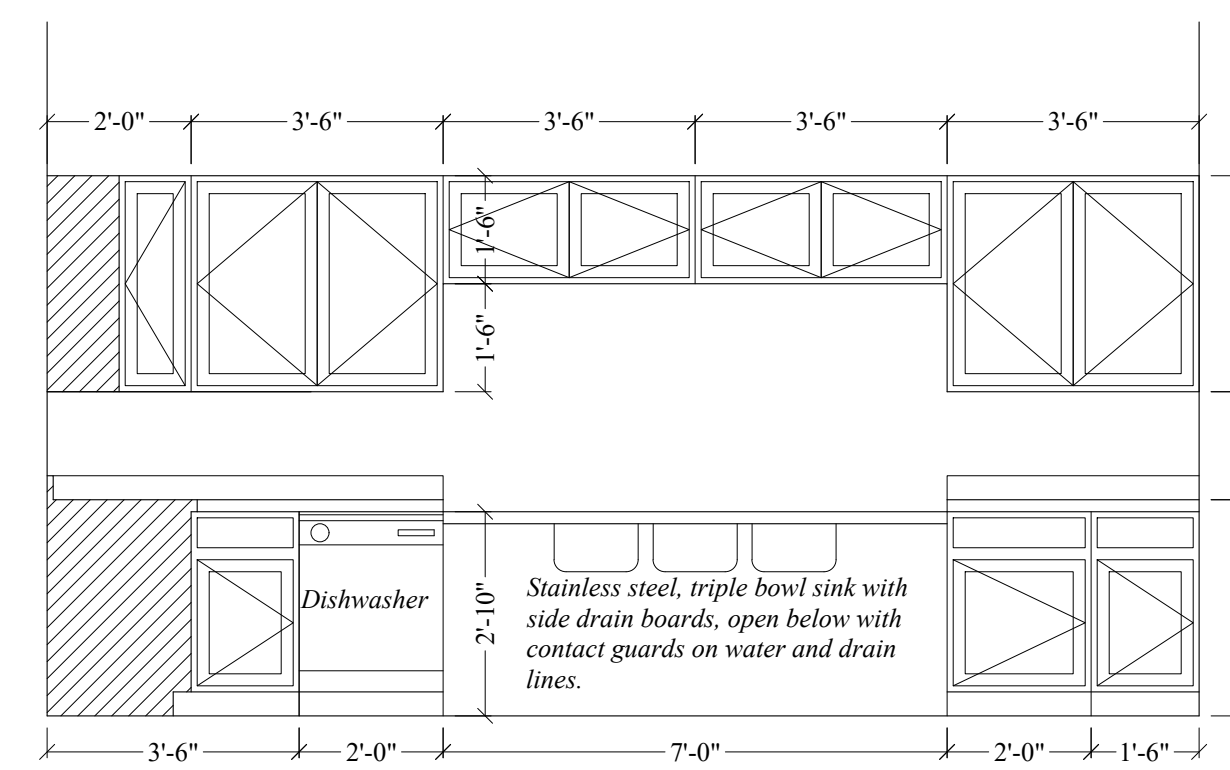
North Elevation
Scale: 3/16" = 1'-0"



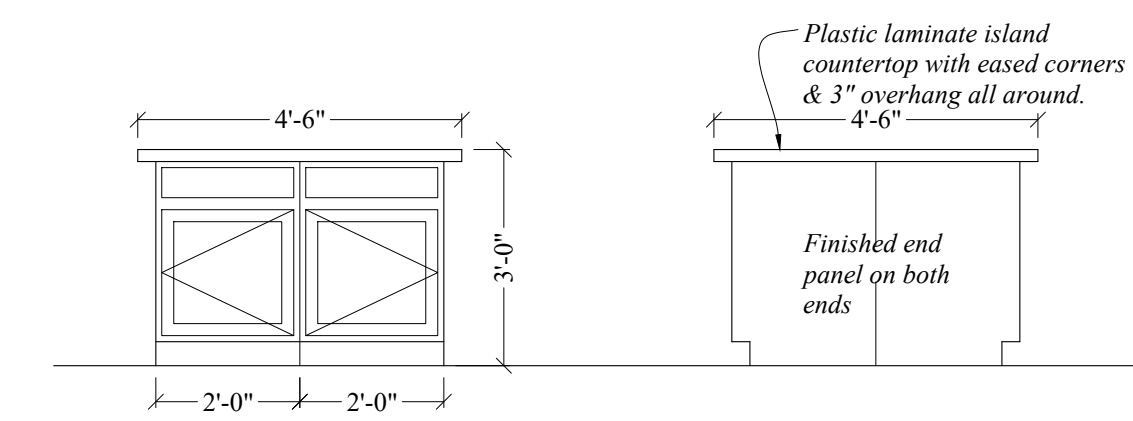
Kitchen Elevation "A"
Scale: 3/8" = 1'-0"



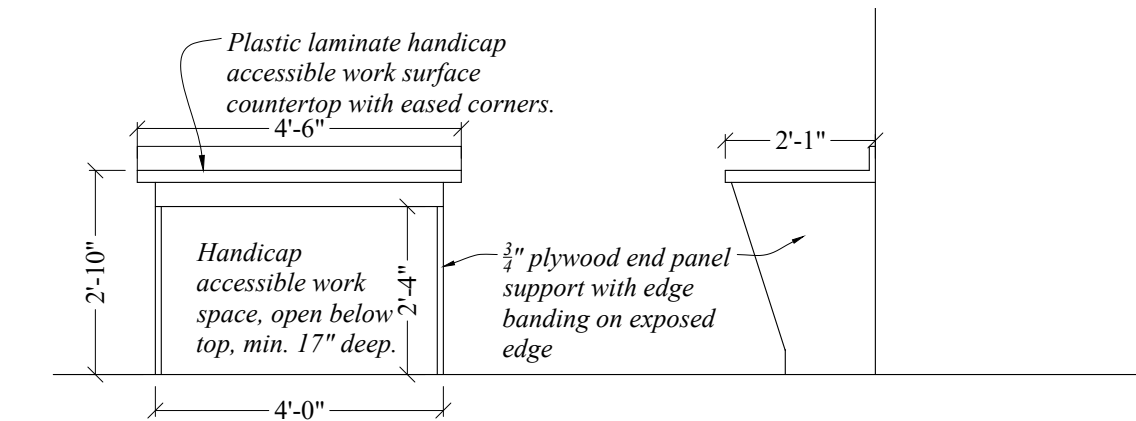
Kitchen Elevation "B"
Scale: 3/8" = 1'-0"



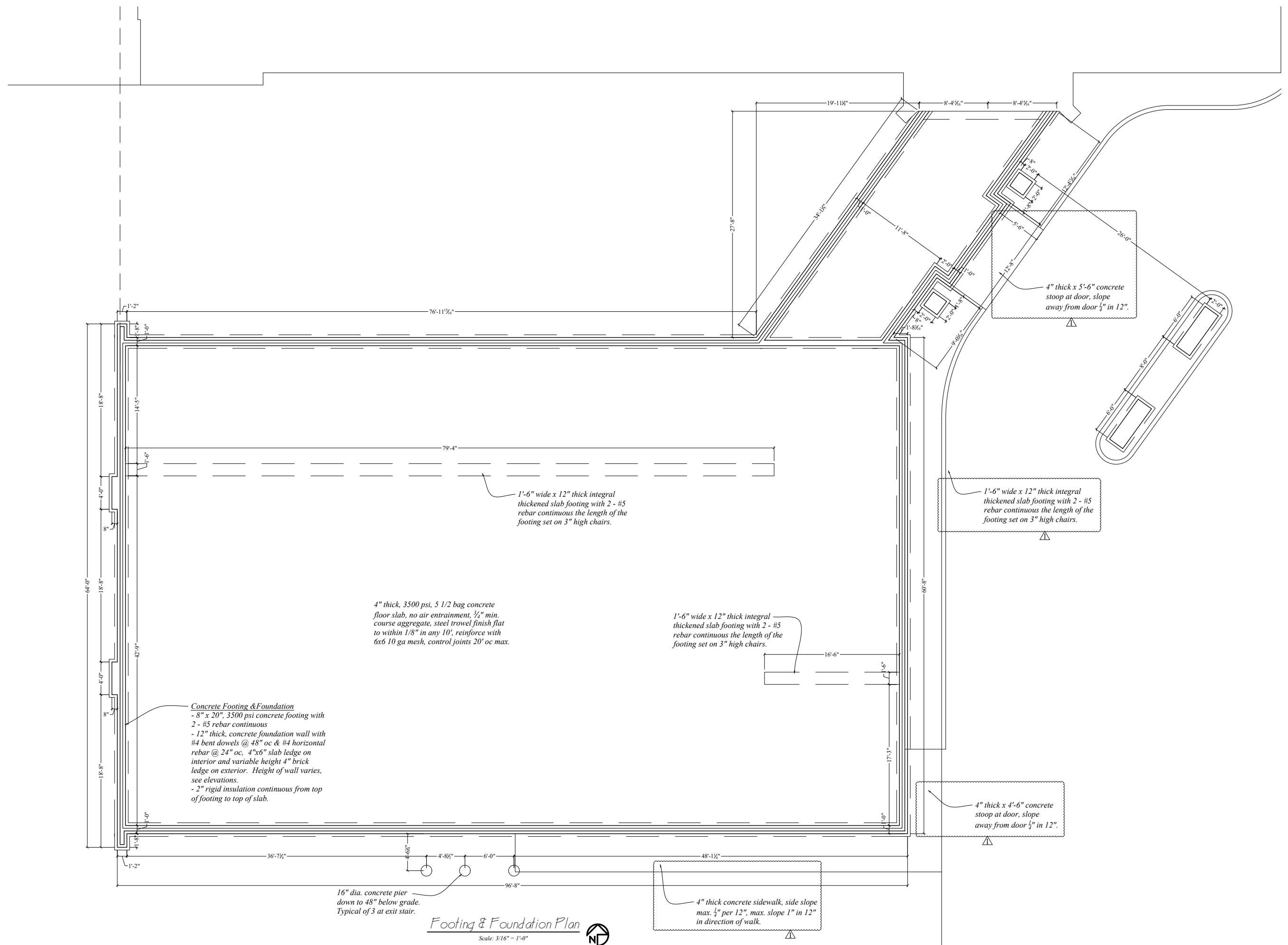
Kitchen Elevation "C"
Scale: 3/8" = 1'-0"



Kitchen Elevation "D"
Scale: 3/8" = 1'-0"



Kitchen Elevation "E"
Scale: 3/8" = 1'-0"



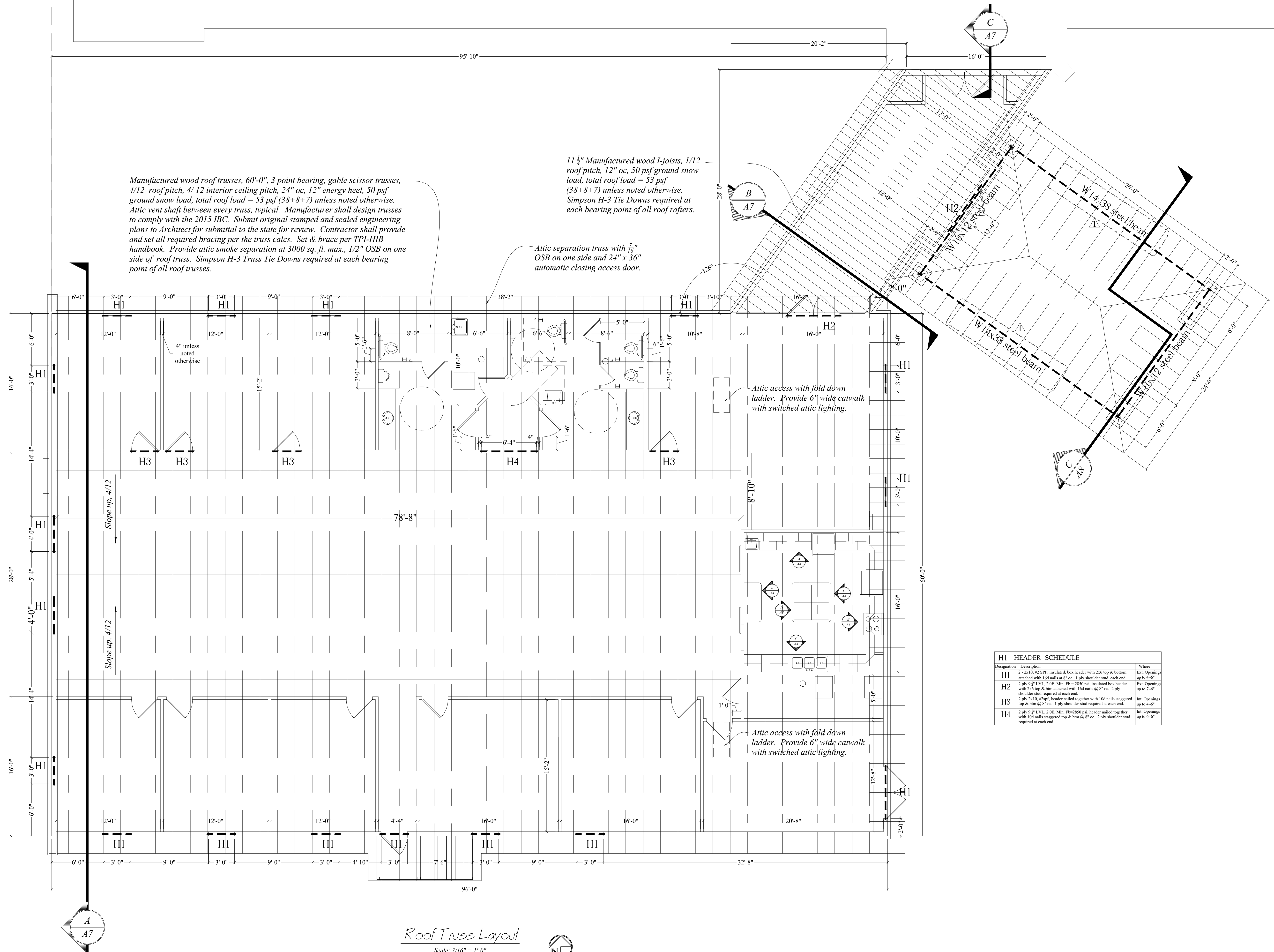
Footings & Foundation Plan
 Scale: 3/16" = 1'-0"

Cornerstone Architects, LLC
 "Designing the Future"
 6154 Sweden Boulevard
 Punta Gorda, FL 33952
 Voice: 888-343-0211 Email: brad@cornerstonearchitects.com

Project: Sacred Heart of Jesus Catholic Church
 Proposed Fellowship & Classroom Addition
 112 East 11th Street, Marshfield, WI 54449

Sheet Description	By:	Date:	Scale:	File:	Revision:	Date:
Footings & Foundation Plan	ak	4/23/22	as noted			

Sheet No. **A5**



Manufactured wood roof trusses, 60'-0", 3 point bearing, gable scissor trusses, 4/12 roof pitch, 4/12 interior ceiling pitch, 24" oc, 12" energy heel, 50 psf ground snow load, total roof load = 53 psf (38+8+7) unless noted otherwise. Attic vent shaft between every truss, typical. Manufacturer shall design trusses to comply with the 2015 IBC. Submit original stamped and sealed engineering plans to Architect for submittal to the state for review. Contractor shall provide and set all required bracing per the truss calcs. Set & brace per TPI-HIB handbook. Provide attic smoke separation at 3000 sq. ft. max., 1/2" OSB on one side of roof truss. Simpson H-3 Truss Tie Downs required at each bearing point of all roof trusses.

1 1/4" Manufactured wood I-joists, 1/12 roof pitch, 12" oc, 50 psf ground snow load, total roof load = 53 psf (38+8+7) unless noted otherwise. Simpson H-3 Tie Downs required at each bearing point of all roof rafters.

Attic separation truss with 7/16" OSB on one side and 24" x 36" automatic closing access door.

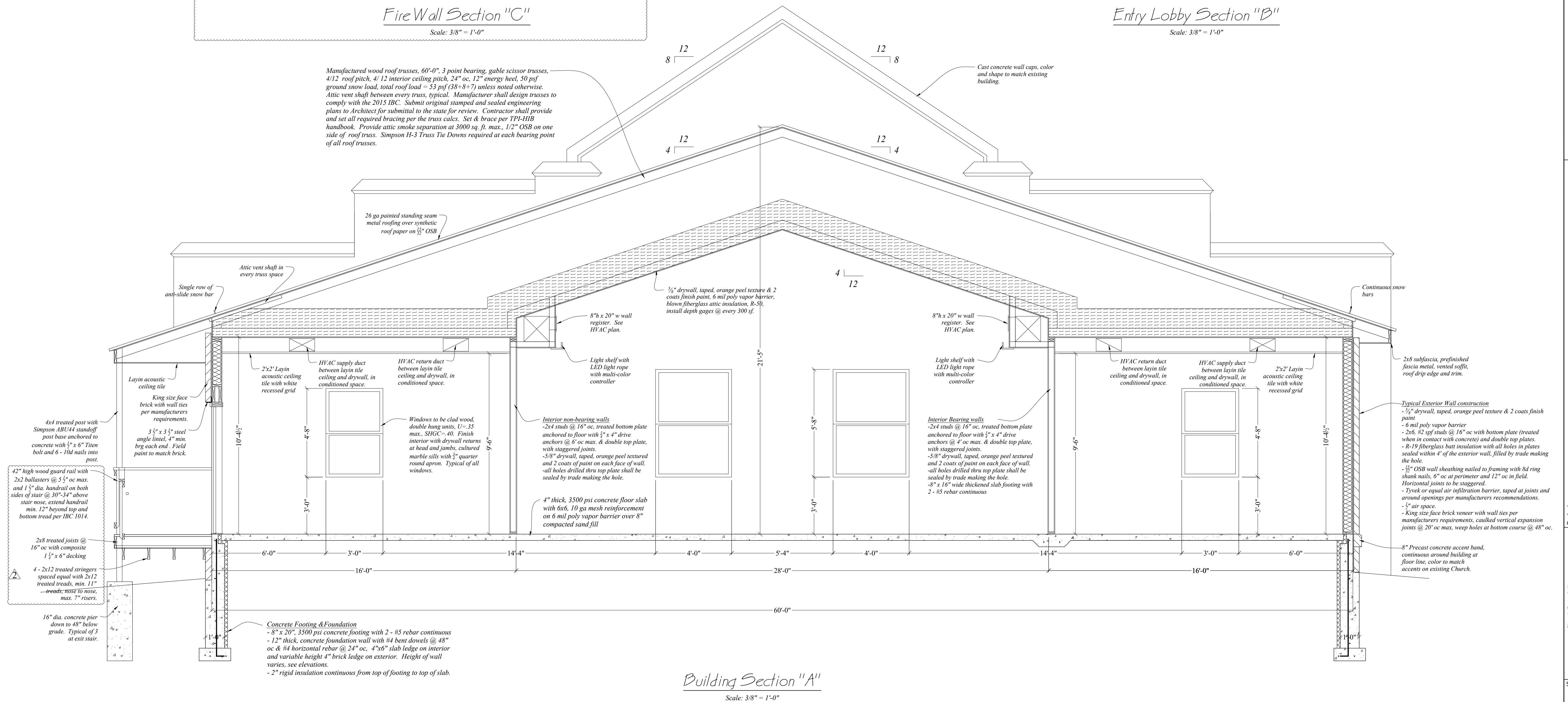
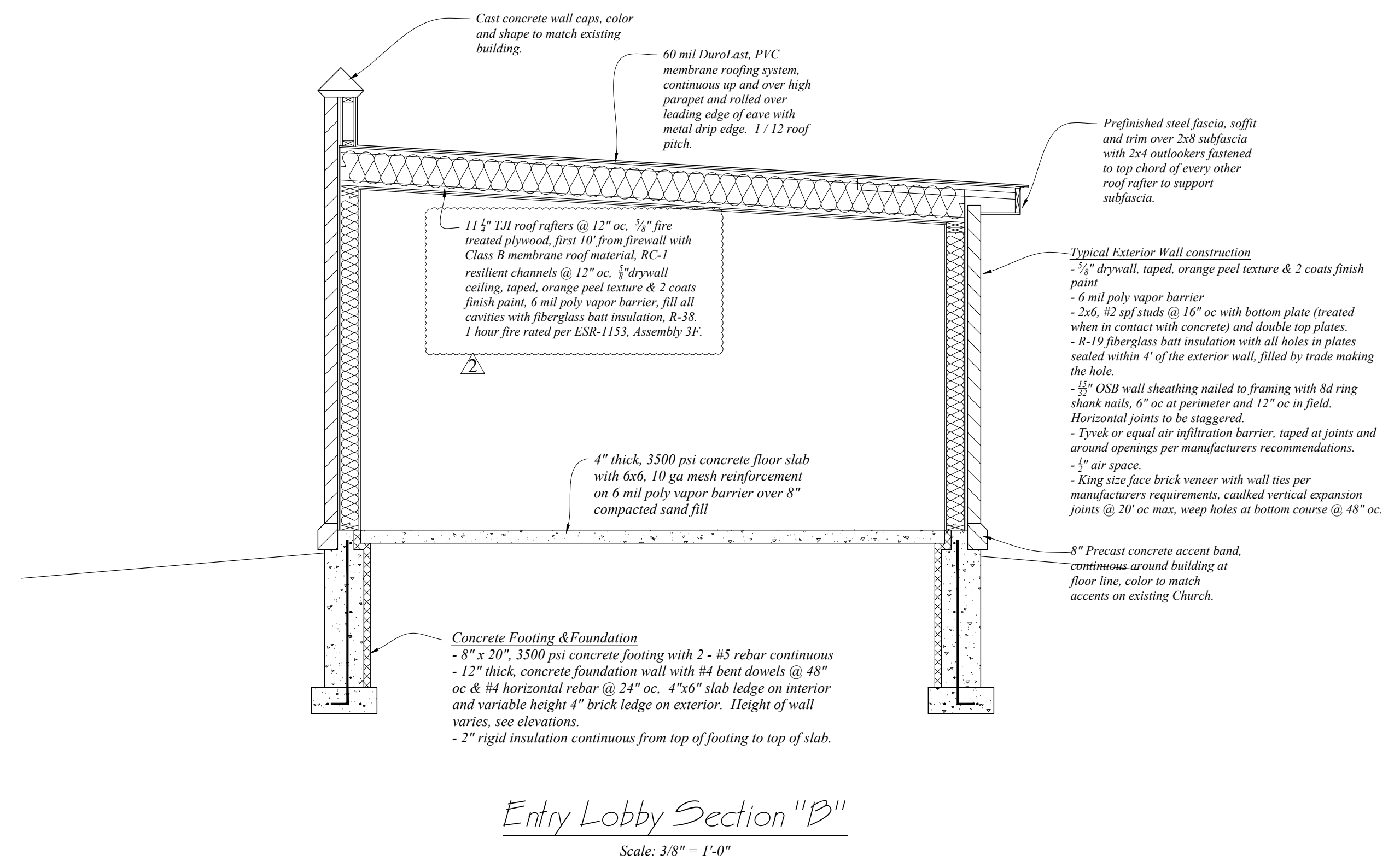
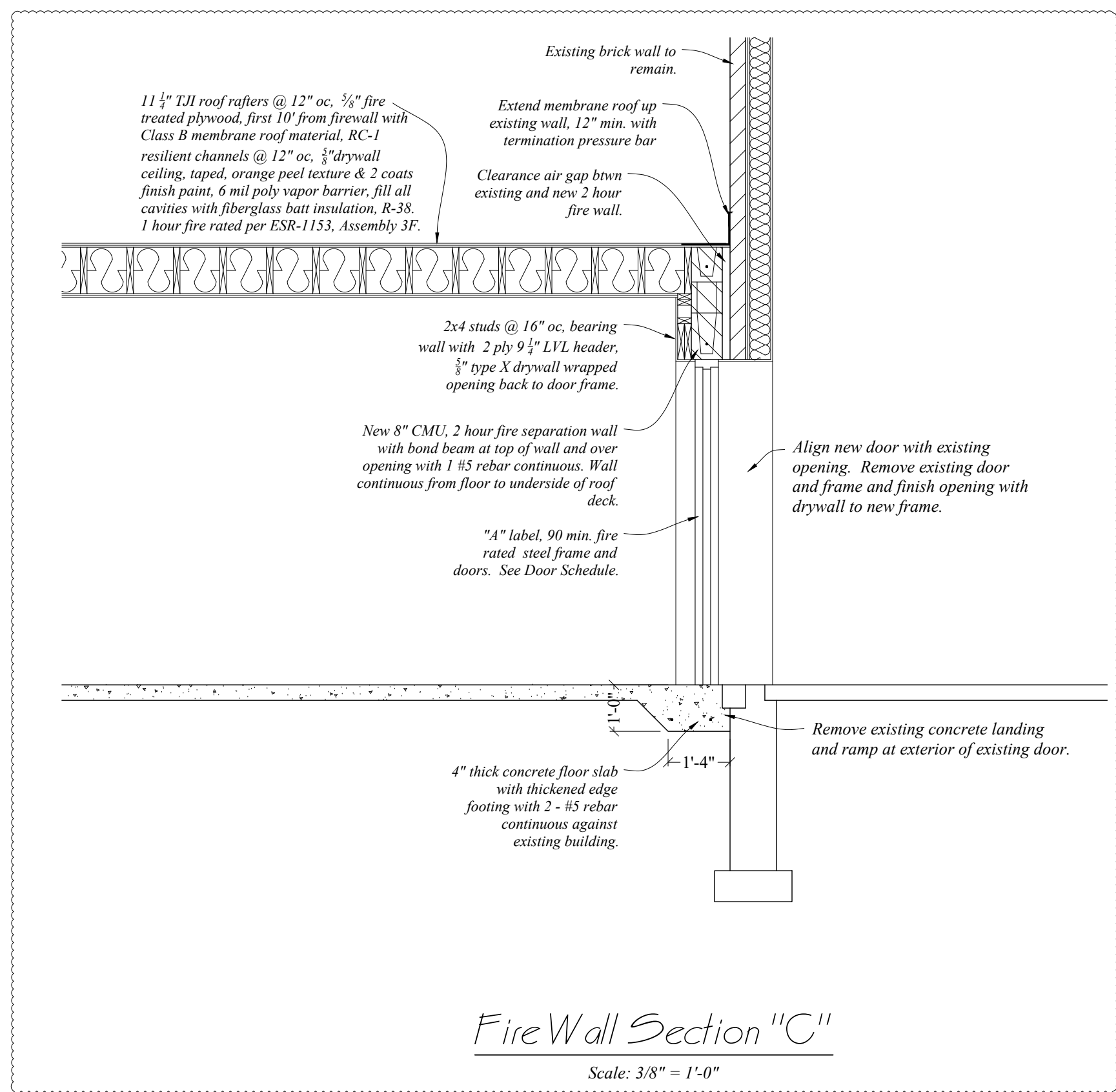
Attic access with fold down ladder. Provide 6" wide catwalk with switched attic lighting.

Attic access with fold down ladder. Provide 6" wide catwalk with switched attic lighting.

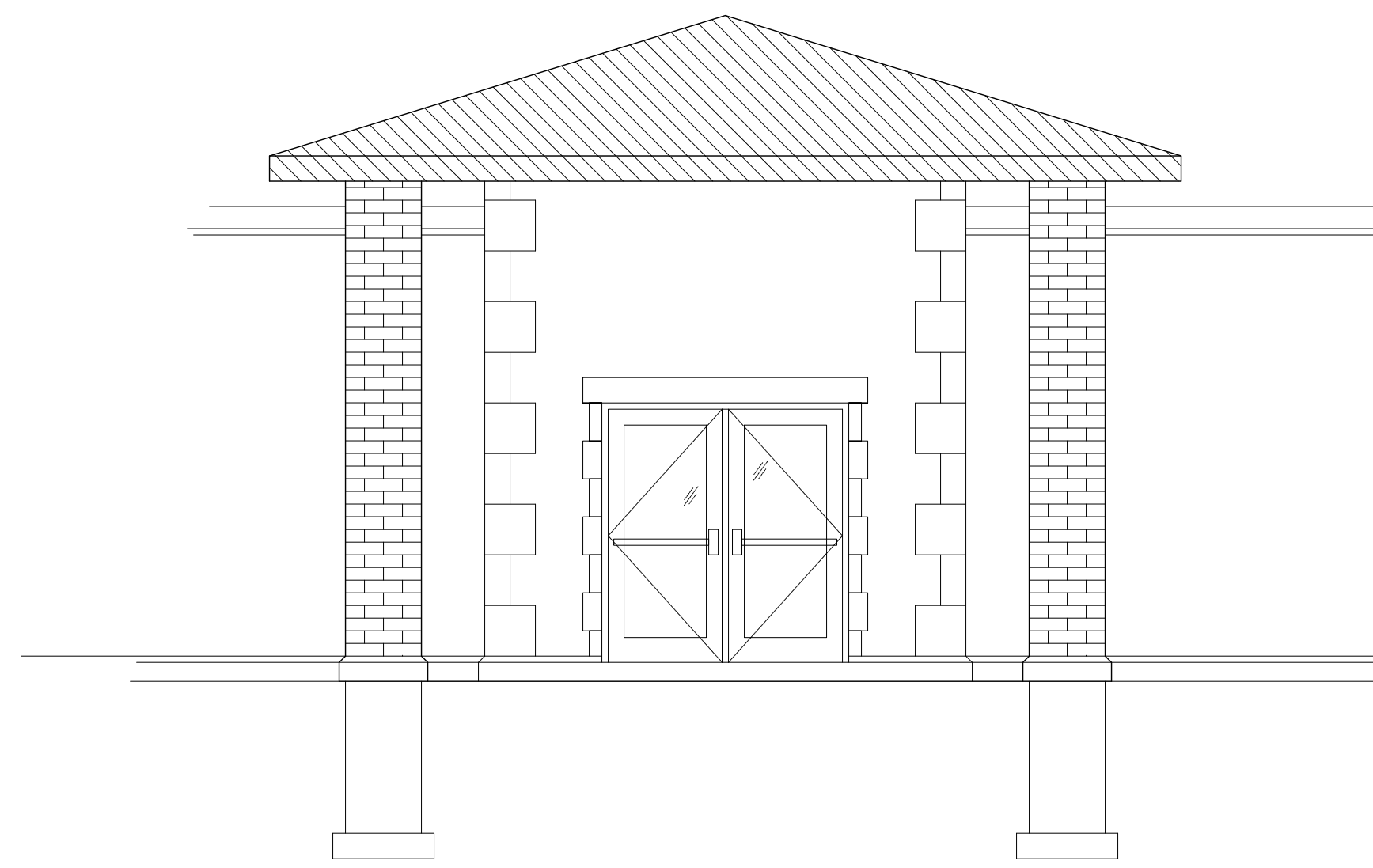
H1 HEADER SCHEDULE		
Designation	Description	Where
H1	2 x 2x10 @ 8' o.c., insulated, box header with 2x6 top & bottom attached with 16d nails at 8" oc. 1 ply shoulder stud, each end.	Ext. Openings up to 4'-6"
H2	2 ply 9" LVL, 2.0E, Min. Fb = 2850 psi, insulated box header with 2x6 top & bottom attached with 16d nails @ 8" oc. 2 ply shoulder stud required at each end.	Ext. Openings up to 7'-6"
H3	2 ply 2x10 @ 8' o.c., header nailed together with 10d nails staggered top & bottom @ 8" oc. 1 ply shoulder stud required at each end.	Int. Openings up to 4'-6"
H4	2 ply 9" LVL, 2.0E, Min. Fb = 2850 psi, header nailed together with 10d nails staggered top & bottom @ 8" oc. 2 ply shoulder stud required at each end.	Int. Openings up to 6'-0"

Roof Truss Layout
Scale: 3/16" = 1'-0"



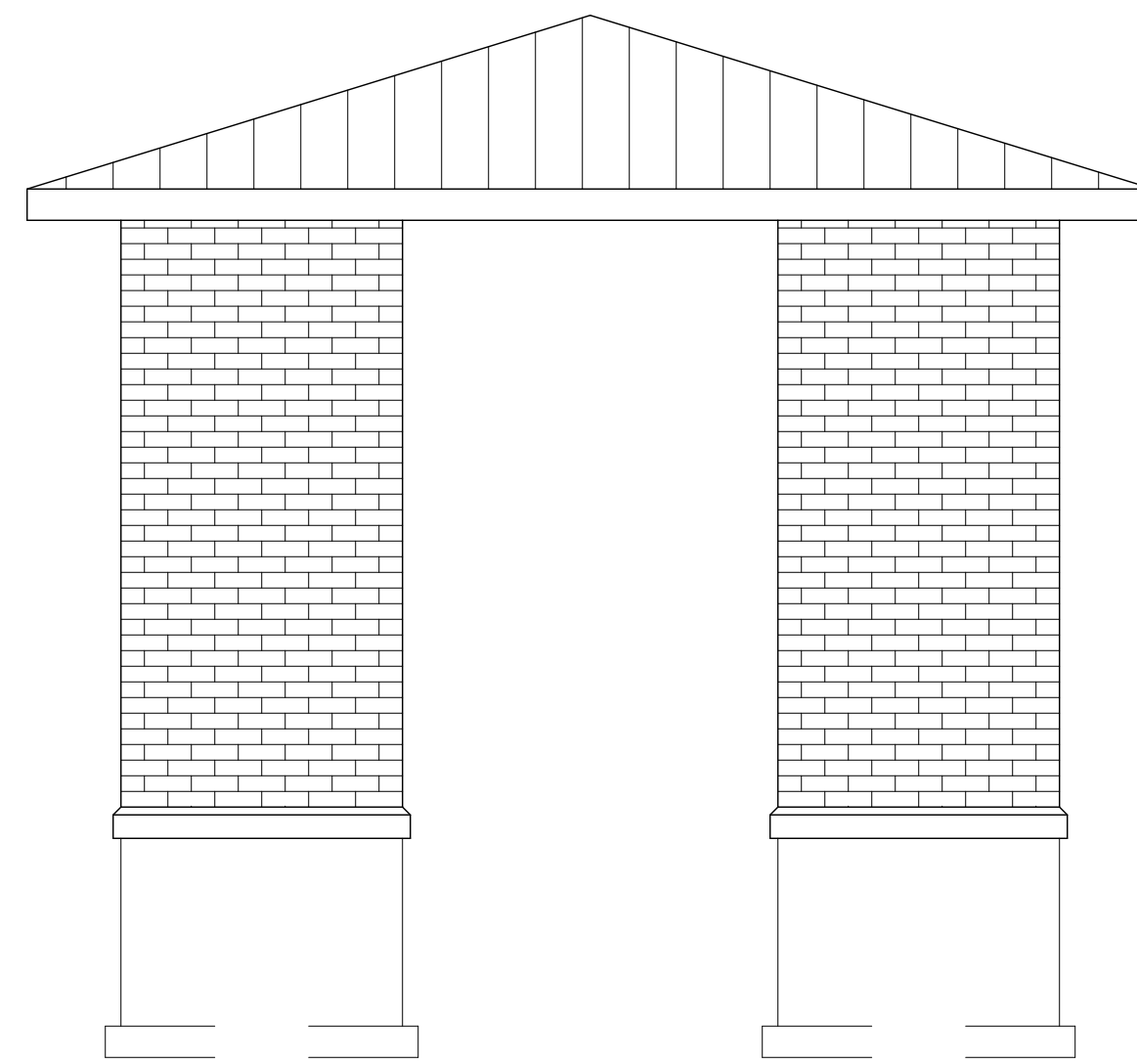


Project:	Sacred Heart of Jesus Catholic Church Proposed Fellowship & Classroom Addition		
Sheet Description:	Proposed Section	Scale:	As Shown
By:	ink	Date:	4/22/22
Last Revision:	1	Revision Date:	6/12/22



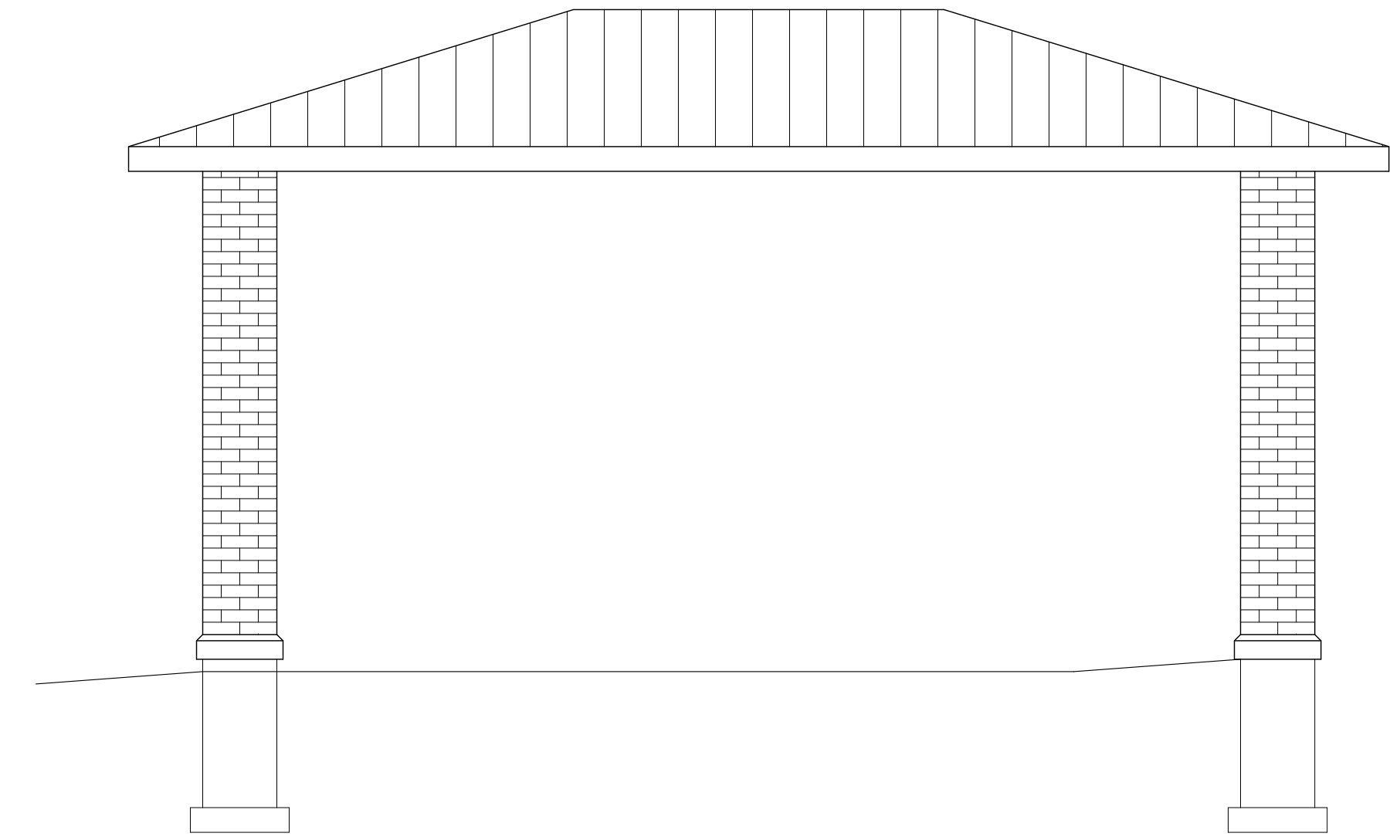
Canopy - Elevation @ Entrance

Scale: 3/8" = 1'-0"



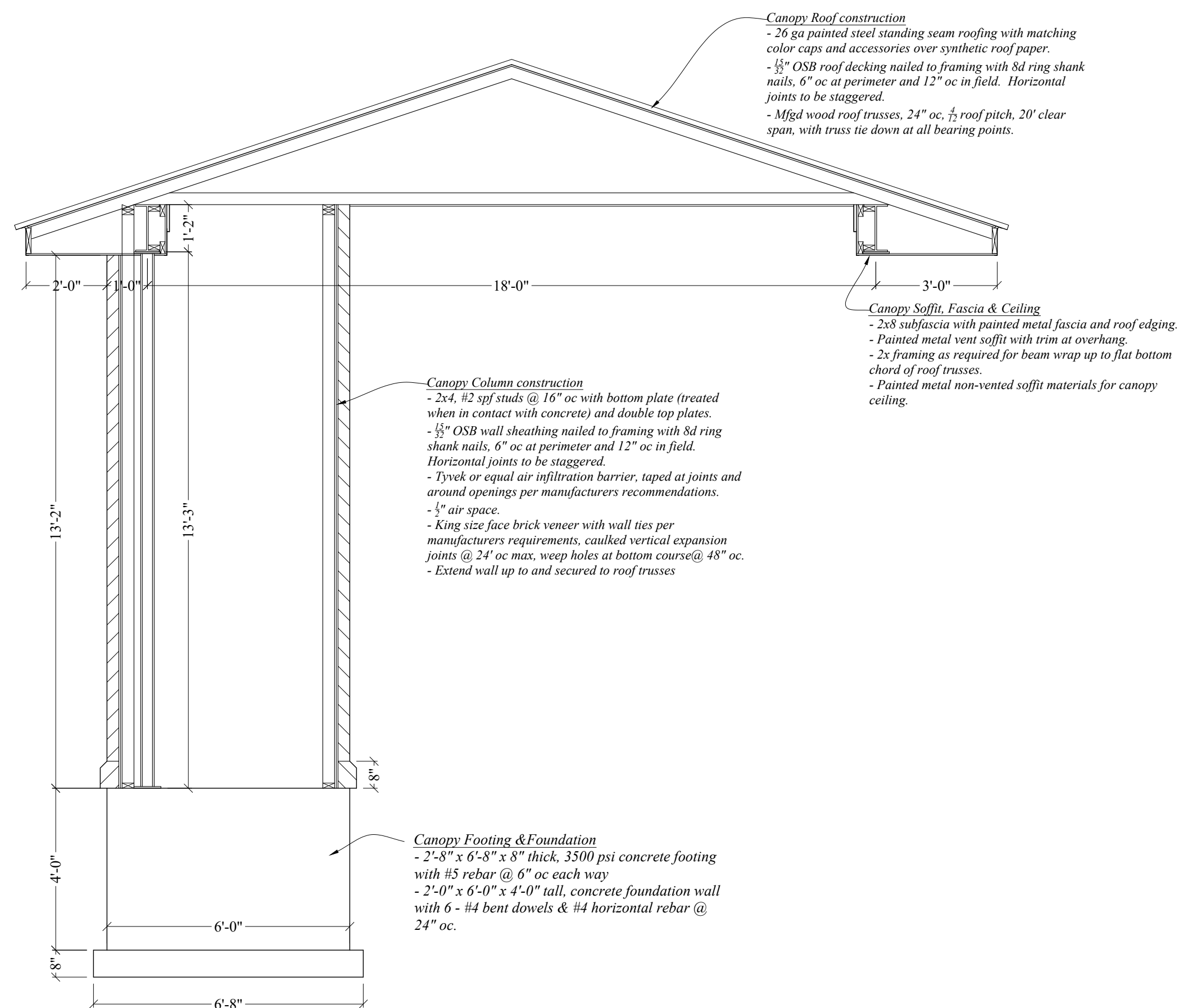
Canopy - Front Elevation

Scale: 3/8" = 1'-0"



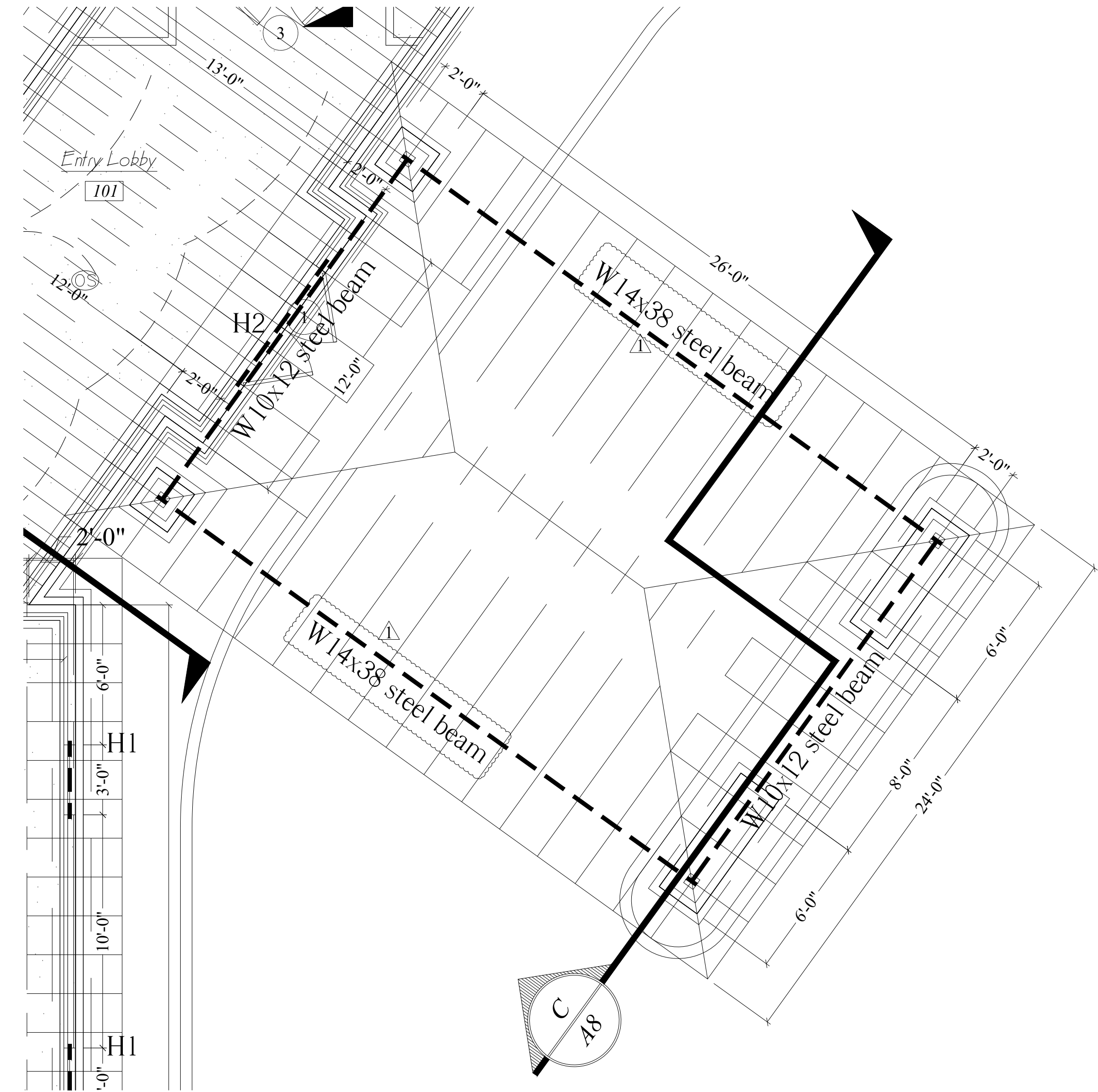
Canopy - Side Elevations

Scale: 3/8" = 1'-0"



Canopy Section

Scale: 3/8" = 1'-0"



Canopy Framing Plan

Scale: 1/4" = 1'-0"

General Specifications

Division 1 - General Requirements

- The Owner will make electrical service available during construction for use by construction crews. Contractors shall provide extension cords and temporary lighting as required.
- The General Contractor shall provide temporary heating and cost of fuel as may be required until final acceptance by the Owner and Architect in order to maintain 55 deg F in all rooms. The new furnaces shall not be used during construction to provide temporary heat.
- The Owner shall make water available during construction. Contractors to provide hoses as required.
- The General Contractor shall provide portable toilet facilities and pumping for their use and subcontractors.
- The General Contractor shall provide fences and other barriers to protect and prevent public entry to the construction site and to restrict construction operators to designated work/storage areas. General Contractor shall develop and maintain a safety program.
- Contact Diggers Hotline for locations of all utilities prior to excavation work.
- The General Contractor shall provide erosion control devices to meet requirements of DNR and the local jurisdiction.
- The General Contractor shall provide a dumpster for site cleanup. Each contractor for each trade shall be responsible for removal of debris created by performance of work from the building site.
- Where specific equipment or material name and/or model numbers are indicated on the plans, alternate equipment or materials may be substituted in the Base Bid on an "or equal" basis. The Contractor assumes the responsibility for providing equipment and materials to the satisfaction of the Owner and Architect. Any modifications required to any building system due to equipment or material substitutions shall be performed by the Contractor at no additional cost to the Owner.
- Each Contractor shall submit to the Architect electronic or a minimum of four (4) sets of shop drawings for materials being furnished. Electronic material submittals are preferred. Material and equipment orders must be processed immediately upon approval as not to cause undue delay in delivery. Shop Drawings are required to be submitted for all of the following:
 - Concrete Design Mix
 - Veneer Stone with color samples
 - Manufactured wood roof truss shop drawings and structural calculations with original engineers seal for submittal to Wisconsin Department of Safety and Professional Services
 - Shingles with color samples
 - Siding with color samples
 - Door, Frames and Hardware Schedules with material cut sheets
 - Window sample to be inspected by Architect prior to ordering windows
 - Cabinets and plastic laminate tops with color samples
 - Cultured marble lavatory & sill color samples
 - HVAC equipment, controls, registers, grilles, diffusers and louvers with color samples
 - Plumbing fixtures
 - Electric Panels and control devices
- The General Contractor and all Subcontractors shall guarantee all work for a period of one (1) year from the time of final acceptance by the Owner and Architect, all work including labor and materials as furnished by said contractor.

Division 3 - Concrete

- Reinforcement Steel
 - Steel bars ASTM A615, 40 ksi yield grade billet steel deformed, uncoated finish. Lap all bars 30 diameters at splices.
 - Welded steel wire fabric in slabs, ANSI/ASTM A185 plain type in flat sheets or coiled rolls, uncoated finish. Lap one full mesh at splices and set 2" below finished surface.
 - Fiberglass mesh concrete admixture, 2" long fibers are acceptable reinforcement for interior slabs, only when used in combination with the welded wire fabric.
- Poured Concrete
 - Mix all concrete in accordance with ASTM C94 using ASTM C150 type 1 portland type cement. ASTM C33 fine aggregate and minimum 3/4" coarse aggregate, 2% air entrainment required for all concrete exposed to exterior. No air entrainment at interior slabs.
 - All footings and interior slabs shall be 3500 psi at 28 days, 4" maximum slump, 5 1/2 bags per cubic yard, unless noted otherwise.
 - Power trowel all floors to smooth surfaces with maximum variation of 1/8" in any 10'-0" of plane of level or sloped floor.

Division 4 - Masonry

- King Size Brick Veneer
 - County Materials, Heritage Collection, Designer Concrete Brick, ASTM C1634 expanded metal panels over exterior surface of exterior walls. Fasten to wall with galvanized fasteners at 12" oc each way. Scratch coat of mortar required prior to installing stone. Stone to be install in strict accordance with manufacturers recommendations. Stone to be applied in "dry stack" method. Color to be selected by Church. All mortar for exposed stone shall have integral color and watertight additives. Clean all stone with cleaner per manufacturer's specifications.
 - Provide expansion joints in equal panels sizes as required. Maximum of 20'-0" oc. Joints to be spaced approximately equally on each wall. Joints shall not be located within 12" of a door or window opening.

Division 5 - Metals

- All structural steel shall be new ASTM A36 with shop coat of rust inhibitive paint. Clean and recut all areas of field welding.
- Finish paint all exposed structural steel. This includes lintels at masonry.

Division 6 - Wood and Plastic

- General
 - All work must comply with Wisconsin Dept. of Safety and Professional Services and 2015 International Building Codes and must be performed in a neat and workmanlike manner in keeping with area professional finish carpenters and cabinetmakers acceptable to the Owner and Architect.
 - All wood framing shall be minimum of #2 Douglas Fir (DF) or #2 Spruce Pine Fir (SPF) or better unless stated otherwise on plans.
 - Framing in contact with concrete or masonry shall be 6 CCA treated.
 - Sheathing shall be APA Rated and grade stamped for span and loading. Install with grain perpendicular to framing members and cross-joints staggered. Provide 1/4" clips at all spans for roof sheathing.

- Roof Truss System
 - Design loads are as follows: 50 psf ground snow load, 38 psf roof snow load, 10 psf top chord dead load & 8 psf bottom chord dead load for a total roof load of 56 psf. Snow load importance factor = 1.0, Snow load exposure factor = 1.0, Sloped roof factor = 1.0, Roof thermal factor = 1.1, Wind speed = 90 mph, Wind Exposure Category = C, Seismic Design Category = A.

- The truss manufacturer shall design roof trusses. Truss placement drawings, truss diagrams, and calculations shall be stamped by a licensed professional engineer and submitted to Architect for Wisconsin Dept. of Safety and Professional Services approval. Lateral bracing shall be provided and install as shown on truss calculations. Trusses shall be set and braced per TP-BWT Handbook.
- All trusses shall be anchored with Simpson H3 galvanized steel framing anchors at all bearing points, unless noted otherwise.
- Cabinets and Countertops
 - Kitchen cabinets and bathroom vanities shall be Countryside or equal. Owner shall select finish color from manufacturer's standard finishes. Cabinet doors shall have a solid oak frame and flat recessed panels with adjustable concealed hinges. Cabinet backs to be 1/2" thick, minimum. Cabinet shelves are to be 3/8" thick minimum. Cabinet doors to have a knob equal to Amerock #A01910, 1 1/2" (G10) satin nickel knob. Drawers to have a 3" pull, equal to Amerock #A01908, (G10) satin nickel pulls.
 - Kitchen countertops shall be Plonite plastic laminate on 3/4" particle board with rolled nosing and 4" backsplash.
 - Bathroom vanity tops shall be cultured marble with molded lavatory and 4" center holes for faucet. Color to be white on white swirl.
- Base, Door & Window Trim
 - Wall base shall be equal to Western, pattern #W-253, round edge oak base, 3/8" x 3 1/2" prefinished stained and varnished, solid oak.
 - Door casing shall be equal to Western, pattern #WM-356, colonial oak casing, 1 1/2" x 2 1/4" prefinished stained and varnished, solid oak.
 - Window head and jambs shall be painted drywall returns.
 - Window sills shall be cultured marble, white on white swirl, installed with 3/4" extension over a corner bead with a stained and varnished oak quarter round trim below sill.

Division 7 - Thermal and Moisture Protection

- Roofing
 - Shingles shall be equal to GAF Timberline, 30 year warranty, self-sealing, Class A asphalt shingles. Provide style and color samples to the Owner for selection.
 - Provide ice and water shield at all valleys and eaves, minimum 6' up from exterior wall and 3' either side of all valleys.
 - Underlayment shall be 30# asphalt saturated felt.
 - Flashing shall be 24" wide x 26 ga galvanized steel.
 - Roof edge shall be prefinished aluminum with drip edge. Color to match fascia.
 - Valleys shall be shingled through with a valley cut. Exposed valley flashing is not acceptable.
- Insulation
 - Roof insulation shall be Owens Corning, blown fiberglass attic insulation with thickness gages fastened to trusses at every 300 sq. ft. maximum. Minimum R-50.
 - Studwall cavity insulation shall be Owens Corning, 5 1/2", R-21 high density friction fit fiberglass batt insulation in all stud cavities with a 6 mil poly vapor retarder on warm surface (during heating) of the wall.
 - Rigid insulation shall be Owens Corning, Foamular 150, extruded polystyrene insulation, 2" R-10 Perimeter insulation and 1/2" R-4 thermal break insulation.
 - Sill sealer shall be polyethylene foam where exterior wood framing abuts concrete.
 - Expanding urethane foam shall fill all voids around exterior windows, doors, wall penetrations and holes drilled in studs and plates within 4' of exterior of building.
 - Fiberglass batt sound insulation at all interior walls.

- Exterior caulking shall be GE silicone sealant around all exterior windows, doors and wall penetrations.
- Vapor & Air Barrier
 - Vapor barrier shall be 6 mil polyethene located on warm side (during heating) of all thermal insulation and under all interior concrete slabs. All joints shall be sealed.
 - Air barrier shall be Tyvek building wrap at all exterior sheathed surfaces, exterior stud walls and sheathed gable ends of trusses. All joints shall be sealed. Care shall be taken at all openings to ensure that Tyvek is lapped and taped to shed water.
- Siding
 - Siding to be equal to Certainteed, Woodman Select, Double 4, .044 thick, vinyl siding with associated trim in standard colors, installed in accordance with manufacturer's instructions. Color samples provided to Owner for selection.

Division 8 - Doors & Windows

- Doors
 - Aluminum Entrance Doors shall be Kawneer, thermally broke frames with fully insulated, low E, safety glazing, handicap threshold (1/2" high maximum) and weatherstripping. Exterior Exit Doors shall be 20 ga. primed steel, insulated (R-8) doors with handicap threshold, weatherstripping and 18 ga. primed steel, insulated, one-piece frames with welded corners.
 - Door glazing shall be fully insulated, low E, safety glazing. See Door Schedule for sizes. Interior Doors shall be prefinished, stained and varnished, oak veneer, flush doors, prehung in a prefinished, stained and varnished, oak veneer frame. See Door Schedule.
- Hardware
 - All hardware shall have a brushed stainless steel finish.
 - Locksets shall be Schlage AL series locksets. Lever handles shall be ADA compliant. See Door Schedule for functions.
 - Thresholds shall be ADA compliant Reese extruded aluminum.
 - Weatherstripping shall be compressive type polyethylene covered foam, pile/brush sweeps and astragals.
 - Wall bumpers shall be Glynn-Johnson with solid backing. Base mount bumpers are not acceptable.
 - Closers shall be ADA compliant, LCN 4040 series.
- Windows
 - All exterior windows shall be equal to Pella 450 series, aluminum clad, wood, casement windows, low E insulated glazing with screens and EnduraClad exterior paint system. Fill rough-in spaces around window with insulation. Interior of window shall include wood extension jambs, head & sill with oak wood casing all around to finish to existing finished surfaces.
 - Provide all anchors, inserts, blocking and trim as may be required for installation of all window units.
 - Seal around exterior of window flanges with tape and method as recommended by Tyvek for a weathertight installation.
 - All interior glazing shall be 1/2" tempered safety glazing.

Division 9 - Finishes

- Floor Coverings & Base (Carpet, Wood & VCT with Base by Owner under separate contract)
 - Carpet equal to commercial grade with level loop or berber, 26 oz with matching 4" high carpet base with finished top edge. Material allowance of \$1.75 per square foot.
 - Vinyl Composition Tile (VCT), 3/16" thick for direct glue to concrete with 4" rolled rubber base glued to wall. Material allowance of \$1.50 per square foot.
 - Wood Flooring to be 3/4" solid wood, tongue & grooved plank flooring, prefinished and nailed to subfloor. 3/4" x 3 1/2" matching solid wood round edge base, stained and varnished to match flooring. Material allowance of \$5.50 per square foot.
 - Glazed tile floors shall be 1/2" thick equal to Daltile, Alta Vista series with thin set mortar, grout and seal all tile joints. Cut tiles in half to provide a 6" high tile base. Install in strict accordance with manufacturer's specifications.
 - Glazed wall tile shall be 1/2" thick equal to Daltile, Colour Scheme series with thin set mortar, grout and seal all tile joints. Install in strict accordance with manufacturer's specifications.
- Drywall
 - All drywall shall be 3/8" thick, installed and handled per manufacturer's recommendations. Provide Type "X" fire rated drywall on walls and ceilings requiring a fire rating. Use moisture resistant rated drywall in all Toilet Rooms and areas of high or repeated moisture.
 - Provide expansion joints in equal panel sizes as required, maximum of 24' oc in all walls and ceilings. Expansion joints shall be provided by installing "zip strip" expansion joints.
 - Drywall within the Multi-Purpose Room shall be special 3/8" thick, abuse resistant drywall capable of resisting higher than normal abuse.
- Painting
 - Drywall: Tape and sprayed orange peel texture on all walls and exposed ceilings. Provide one coat of PPG primer / sealer with 1 sprayed finish coats of waterbased, satin finish, PPG paint.
 - Wood Surfaces: Minwax oil base stain, 2 coats polyurethane sealer, touch sand between coats.
 - Steel & Metals: (steel doors, lintels, etc) Prime coat of PPG satin #90-712 water base Speedhide Inhibitive and finish coat of PPG #90-474 series water base finish coat.
 - All painting shall be done in strict accordance with manufacturer's specifications as to surface preparation, room temperature, moisture content, humidity, etc. at time of application and it shall be the responsibility of the General Contractor to provide suitable conditions prior to any application.
 - Thickness and/or coverage of each paint/primer system shall be in accordance with manufacturer's specifications and must provide full color coverage with no bleed through or shade variance.
 - Provide protection to all other surfaces during painting as may be required and clean, repaint or replace any areas with spills or overspray.
- Color and Material Selection
 - Provide color chips, samples, paint charts for all exterior and interior finish materials to Owner for selection. The Owner shall have the right of all finish material color selection from standard colors at no extra cost.

Division 10 - Specialties

- Toilet/Bath Accessories
 - Mirrors shall be surface mounted with a finished beveled edge on all four sides. All mirrors shall be 36" high, mounted 40" maximum from floor to bottom, 60" wide at double & 30" wide at single lavatories.
 - Provide one piece molded cultured marble vanity tops for each lavatory. Mount on a stained and varnished oak support, see details. Coordinate work with Plumber. Provide robe hooks equal to Bradley model #932. Surface mounted to wall with blocking, 60" high. Provide one robe hook in every toilet stall, Unisex Toilet Room and 2 in Shower Room.
 - Provide roll paper holder equal to Donner contemporary surface mount chrome on adjacent wall at 24" above the floor and 36" out from back wall, attached to solid blocking. Provide stainless steel, paper towel holder, equal to Bradley model #250-12 mounted on wall, 48" above floor to solid blocking.
 - Provide 1 1/2" dia. 250 lb rated stainless steel grab bars where shown on plans with solid blocking in walls, 42" long, horizontal & 18" long, vertical along side and 36" long horizontal in back of handicap water closets. See detail for mounting heights.
 - Provide sanitary napkin dispenser in each women's toilet stall room equal to ASI #0852, mount 48" from floor to bottom of unit.
 - Provide floor mounted, baked enamel steel toilet partitions as shown, equal to Accurate Partitions Inc. Complete with doors, hardware, coat hooks, anchors, etc. Provide shop drawings with layout and mounting details and color charts for selection by Owner.
- Signage
 - Provide engraved plastic signs with braille symbols for each toilet room, "Men", "Women" and "Unisex" with 2" high letters and handicap logo.
 - Mount all signs 60" above floor on wall at latch side of door. All signs shall comply with ADA standards.

Division 11 - Equipment

- Fire Extinguisher & Cabinet (FEC), provide enameled steel, surface and semi-recessed cabinets with 2 1/2" rolled edge trim equal to J.L. Industries, Ambassadors series #107 with Cosmo #10E, 10 lb. fire extinguisher with pressure gauge. Mount cabinets 5'-0" above floor to top of cabinet. Coordinate exact rough opening required. See floor plan for locations.
- Kitchen Equipment (Furnished and installed by Church under separate contract). Contractors responsible to make final gas, electric, plumbing and venting connections to this equipment.

DOOR SCHEDULE

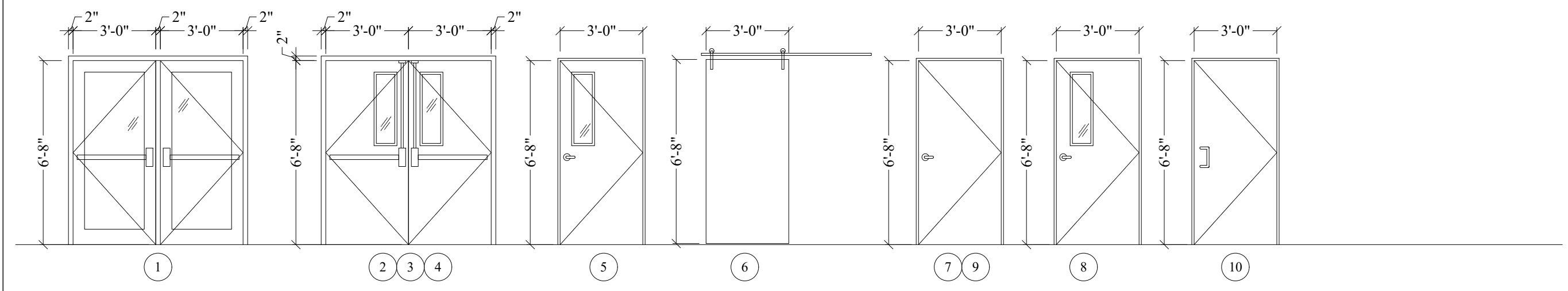
NO.	SIZE	TYPE	FRAME	GLAZING	CLOSER	HDWR	RATING	REMARKS
1	6'-2"W x 6'-8"	Double, Swinging, thermal broke aluminum, removable center mullion	Aluminum	Safety glazing, insulated, Low E coating	Yes	A	-	-
2	6'-0"W x 6'-8"	DBI, Swinging, Flush, Insulated, 20 ga. Steel, field paint dr & frame.	18 ga. Steel	None	Yes	B	-	Field paint door and frame
3	6'-0"W x 6'-8"	DBI, Swinging, Flush, Insulated, 20 ga. Steel, field paint dr & frame.	18 ga. Steel	4" w x 25 7/8, 90 min. fire label firelite glazing in each leaf	Yes	C	90 min.	Smoke detectors both sides of wall for hold opens.
4	6'-0"W x 6'-8"	DBI, Swinging, Flush, Solid core, Oak veneer, Stained & Varnished	18 ga. Steel	8" x 30" framed, safety glazing	Yes	D	-	Field paint frame
5	3'-0"W x 6'-8"	Single, Swinging, Flush, Insulated, 20 ga. Steel, field paint dr & frame.	18 ga. Steel	8" x 30" framed, safety glazing	Yes	E	-	-
6	3'-0"W x 6'-8"	Single, Flush, Solid core, Oak veneer, Stained & Varnished	Wd. Oak veneer	-	No	-	-	Barn door hardware
7	3'-0"W x 6'-8"	Single, Swinging, Flush, Solid core, Oak veneer, Stained & Varnished	Wd. Oak veneer	-	No	F	-	-
8	3'-0"W x 6'-8"	Single, Swinging, Flush, Solid core, Oak veneer, Stained & Varnished	Wd. Oak veneer	8" x 30" framed, safety glazing	No	G	-	-
9	3'-0"W x 6'-8"	Single, Swinging, Flush, Solid core, Oak veneer, Stained & Varnished	Wd. Oak veneer	-	No	H	-	-
10	3'-0"W x 6'-8"	Single, Swinging, Flush, Solid core, Oak veneer, Stained & Varnished	Wd. Oak veneer	-	No	I	-	-

HARDWARE:

- Surface mounted, push bar exit device with lever handle on exterior, always locked from the exterior, 5# push weight closer with hold open device, 12" max. threshold, sweep & weatherstrip, on each leaf.
- Lever handle, keyed lockset, always operable from inside, 5# push weight closer with hold open device on active leaf, head and foot latches into frame on passive leaf, 12" max. threshold, sweep & weatherstrip on each leaf.
- Surface mounted push bar exit device with head roller latch on each leaf. Thumb latch release and pull bar on pull side of each leaf. Hardware to be 90 min. fire labeled with magnetic hold open device, on each leaf.
- Pull bar and push plate on each leaf, 5# push weight closer with hold open device on each leaf.
- Lever handle, keyed lockset, always operable from inside, 5# push weight closer, 12" max. threshold, sweep & weatherstrip.
- Lever handle, keyed lockset, storeroom function, always operable from inside, always locked from outside, key required to open.
- Lever handle, Passage lockset
- Lever handle, Privacy lockset
- Push plate and pull bar, 5# push weight closer
- Concealed, push bar exit device with lever handle on exterior, always locked from the exterior, 5# push weight closer with hold open device, 12" max. threshold, sweep & weatherstrip, on each leaf.

HARDWARE NOTES:

- All solid core doors shall have 1 1/2" pair of 4 1/2" x 4 1/2" triple ball bearing hinges. All hardware shall be brushed nickel finish.
- Closers shall be LCN or equal, 4040 series, surface mounted, ADA compliant, handicap push weight (5#) with hold open device when noted in Hardware Schedule.



ROOM FINISH SCHEDULE

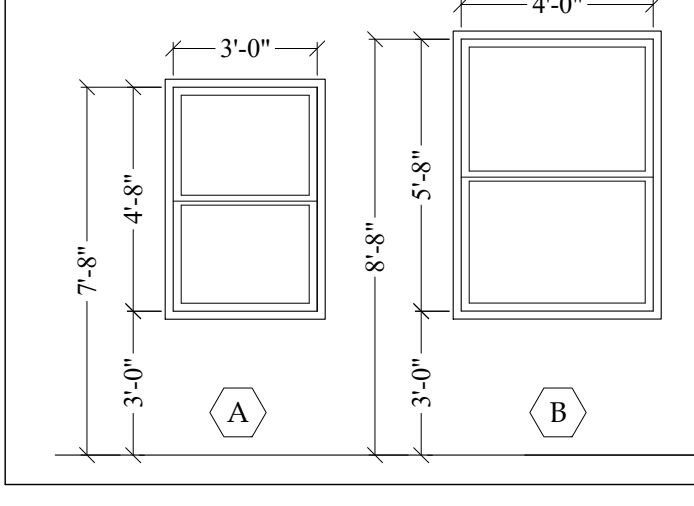
NO.	ROOM	FLOOR	BASE	WALLS	CEILING	HEIGHT	REMARKS
101	Entry	12x12 glazed tile	6" glazed tile	DW, Painted, Orange peel texture	DW, Painted, Orange peel texture	Varies	-
102	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
103	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
104	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
105	Men	12x12 glazed tile	6" glazed tile	6x12 ceramic wall tile, 54" high, DW painted, smooth above	2x2 vinyl face drywall, lay in tile	9'-0"	-
106	Mechanical Room	Exposed Concrete	None	DW, Painted, Orange peel texture	DW, Painted, Orange peel texture	10'-4 1/2"	-
107	Family Toilet	12x12 glazed tile	6" glazed tile	6x12 ceramic wall tile, 54" high, DW painted, smooth above	2x2 vinyl face drywall, lay in tile	9'-0"	-
108	Women	12x12 glazed tile	6" glazed tile	6x12 ceramic wall tile, 54" high, DW painted, smooth above	2x2 vinyl face drywall, lay in tile	9'-0"	-
109	Fellowship	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	DW, Painted, Orange peel texture	Varies	-
110	Serving Kitchen	6x36 LVT	4" rubber	DW, Painted, Smooth finish	2x2 vinyl face drywall, lay in tile	9'-0"	-
111	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
112	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
113	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
114	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
115	Classroom	Carpet or 6x36 LVT	4" carpet or rubber	DW, Painted, Orange peel texture	2x2 Acoustical Lay in tile	9'-0"	-
116	Mechanical Room	Exposed Concrete	None	DW, Painted, Orange peel texture	DW, Painted, Orange peel texture	10'-4 1/2"	-
117	Workshop	Exposed Concrete	None	DW, Painted, Orange peel texture	DW, Painted, Orange peel texture	10'-4 1/2"	-

NOTES

- Owner to provide Wood, Carpet & VCT flooring with corresponding base per this schedule under a separate contract. General Contractor shall include furnishing & installing glazed tile flooring, base and wall tile per this schedule.

WINDOW SCHEDULE

NO.	NOMINAL SIZE	TYPE	GLAZING	REMARKS
A	3'-0" w x 4'-8" h	Single hung, Clad Wood window & screen. Caulk to framing on inside & tape over nailing flange on ext.	Double pane insulated glazing with Low E coating	Min. 5.54 sq. ft. operable
B	4'-0" w x 5'-8" h	Single hung, Clad Wood window & screen. Caulk to framing on inside & tape over nailing flange on ext.	Double pane insulated glazing with Low E coating	Min. 9.32 sq. ft. operable



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Sacred Heart of Jesus Catholic Church
Proposed Fellowship & Classroom Addition
 112 East 11th Street, Marshfield, WI 54449

Project:	Sacred Heart of Jesus Catholic Church Schedules and Specifications		
By:	ink	Scale:	As Shown
Date:	4/22/22	File:	
Last Revision:		Revision Date:	6/6/22

HVAC Specifications

1. All work must comply with these plans and specifications, 2015 International Building Code, 2015 International Mechanical Code, 2015 International Energy Conservation Code, Wisconsin Commercial Building Code and Local Ordinances.

2. The HVAC Contractor shall coordinate with the General Contractor and Electrical Contractor prior to rough in to determine exact locations for diffusers so as to coordinate any required openings in walls and ceilings. Failure to do so shall be relocation of rough in at the HVAC Contractors cost. Saw cutting for required openings at the cost of the HVAC Contractor.

3. The plans and specifications are considered one complete set of documents. It is the responsibility of all contractors to be familiar with the entire set of plans. What is shown or required on any of the plans sheets applies to any and all of the plan sheets.

4. Provide 100% one full year guarantee (plus published length on equipment) on all parts and labor starting from date of final acceptance by the Owner. Temporary use shall not imply final acceptance. Wash or replace all filter elements at time of final acceptance. Provide operation maintenance manual to Owner.

5. Provide and install all equipment, materials, labor, etc., as may be required for complete working systems, including all splitters, diverters, controls, thermostats, relays, transformers, control and interlock wiring, etc., and shall set systems into proper operation. Balance air flows to within +5% CFM shown on plan and provide an Air Balance Report to the Architect prior to final acceptance.

6. Alternate equipment and/or materials to that as specified may be used if products are equal in all ways and acceptable to the Owner and Architect. Install all equipment and materials in strict accordance with manufacturer's specifications.

7. All work shall be guaranteed 100% on all parts and labor for one year from the date of final acceptance of the project Owner. Other extended guarantees for specific products per manufacturer's standard guarantee. Wash or replace all filter elements at time of final acceptance. Provide two sets of equipment installation and operation manuals bound together in a hard cover to the Owner prior to final acceptance.

8. Run all low voltage control wiring for HVAC devices concealed in walls, floors or ceilings in complete compliance with NEC, state and local codes.

9. Ductwork: all rectangular ducts shall be 24 gage galvanized sheet metal with longitudinal locked grooved seams, "S" slips and drive cleat end joints, round ductwork shall be 26 gage galvanized sheet metal. Run ductwork concealed in walls and above ceilings within the conditioned space, unless otherwise noted on plans. Support ductwork with galvanized steel strapping at each joint or 6'-0" o.c. as required. Connections at supply and return air duct to furnace shall be flexible neoprene type. Insulate all interior supply and return ducts not within the conditioned space with min. 3" Owens Corning type FRK fiberglass foilback wrap with taped joints. Coordinate with General Contractor for blowing attic insulation over ductwork where possible. All work shall be in accordance with the Standards of ASHRAE and SMACNA Handbooks.

10. FURNACES:

1. **FURN 1 & 2:** Lennox, Elite Series, gas furnace, #EL296UH080V48C, upflow, variable blower, 2 stage burner, 100% sealed combustion, natural gas fired condensing type furnace with heavy duty stainless steel heat exchanger, electronic hot surface igniter and Apriliaire media filter, 80 MBH input, 76 MBH output, max. 1200 CFM at 0.5 EPS, 96% AFUE, 115 volt, 1/3 HP motor, 2" schedule 40 PVC plastic vent and combustion air intake to 2" concentric termination through roof, 3/4" condensate piping to sight waste, and Lennox, Elite Series, air conditioner, #EL16XC1-036-230, 3 ton condensing unit with matching indoor cooling coil, 14.5 SEER, 208/240 volt, 1 phase, insulated precharged suction/return piping run concealed in walls, set AC condensing unit on precast pad, 7 day programmable wall thermostats mounted 48" above finished floor. Provide all transformers, relays, wiring, etc. as required for a complete working system. Run control wiring concealed in walls and ceilings per NEC. Provide all low voltage control wiring for all devices. Coordinate with Electrical Contractor for all line voltage power wiring and disconnects to be furnished and installed by Electrical Contractor.

2. **FURN 3:** Lennox, Elite Series, gas furnace, #EL296UH120V48C, upflow, variable blower, 2 stage burner, 100% sealed combustion, natural gas fired condensing type furnace with heavy duty stainless steel heat exchanger, electronic hot surface igniter and Apriliaire media filter, 120 MBH input, 116 MBH output, max. 1800 CFM at 0.5 EPS, 96% AFUE, 115 volt, 1/3 HP motor, 2" schedule 40 PVC plastic vent and combustion air intake to 2" concentric termination through roof, 3/4" condensate piping to sight waste, and Lennox, Elite Series, air conditioner, #EL16XC1-054-230, 4.5 ton condensing unit with matching indoor cooling coil, 14.5 SEER, 208/240 volt, 1 phase, insulated precharged suction/return piping run concealed in walls, set AC condensing unit on precast pad, 7 day programmable wall thermostats mounted 48" above finished floor. Provide all transformers, relays, wiring, etc. as required for a complete working system. Run control wiring concealed in walls and ceilings per NEC. Provide all low voltage control wiring for all devices. Coordinate with Electrical Contractor for all line voltage power wiring and disconnects to be furnished and installed by Electrical Contractor.

11. REGISTERS, GRILLES & DIFFUSERS:

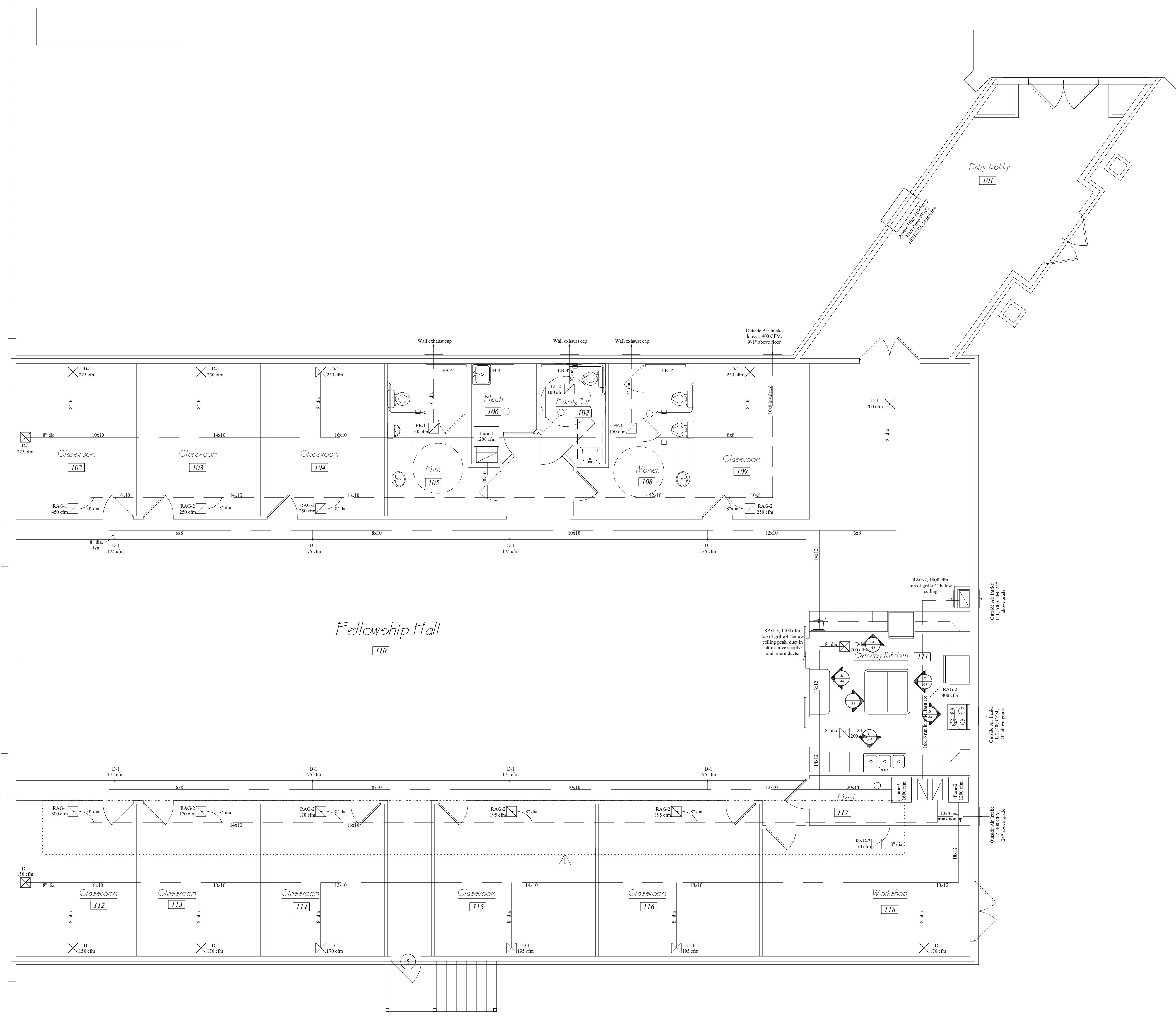
D-1: Hart & Cooley, FFD series, 24" x 24" square fixed pattern diffuser for lay-in grid ceilings, two cone fixed core, bright white finish with 3800 series, butterfly volume control damper.
 D-2: Hart & Cooley, #631 series, 10" x 6" steel, 3 way deflection, bright white finish, multi-shutter valve volume damper, mounted to underside of exposed ductwork.
 RAG-1: Hart & Cooley, REFS, 30" x 18" wide, aluminum, return air filter grille with 1/2" x 1/2" grid core, 1" disposable filter, bright white finish.
 RAG-2: Hart & Cooley, PDR series, 24" x 24" steel, perforated return grille, bright white finish.

12. **GAS PIPING:** The existing gas meter is to be relocated and repiped by the Mechanical Contractor. Natural gas piping from pressure reducing valve shall be schedule 40 threaded black steel with 125 lb. screw fittings or continuous flexible gas pipe rated for the gas pressure being used. Final connection at furnaces and water heater shall be as required with 6" dirt leg, di-electric union, and shut off valve. Hangers shall be 60" o.c. maximum. Test entire system in accordance with NFPA 54 and local utility. Repair and retest any leaks.

13. EXHAUST FANS:

EF-1 Nutone QT120, 120 cfm, ceiling exhaust fan with light, controlled by a wall mounted occupancy sensor to control light and fan together, 115 volt. HVAC Contractor shall provide and install associated rigid 4" dia. ductwork in attic, sloping to the exterior of the building and hood vented thru the soffit with a gravity backdraft damper with insect screening. Occupancy sensor switch to be provided by the Electrical Contractor.

EF-2 Nutone QT120, 120 cfm, ceiling exhaust fan with light, controlled by a wall mounted occupancy sensor to control light and fan together, 115 volt. HVAC Contractor shall provide and install associated rigid 4" dia. ductwork in attic, sloping to the exterior of the building and hood vented thru the soffit with a gravity backdraft damper with insect screening. Occupancy sensor switch to be provided by the Electrical Contractor.



HVAC Plan
 Scale: 3/16" = 1'-0"

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Project:	Sacred Heart of Jesus Catholic Church Proposed Fellowship & Classroom Addition		
Sheet Description:	HVAC Plan & Specifications		
By:	ink	Scale:	as noted
Date:	4/22/22	File:	
Last Revision:		Revision Date:	6/6/22
Sheet No.:	H1		

Electrical Specifications

- All work must comply with the 2009 International Building Code, Wisconsin Commercial Building Code and the current National Electrical Code. Coordinate with Local Utility for service entrance requirements. Size all conduit and wiring accordingly taking voltage drop due to circuit length into consideration and in accordance with all codes.
- The plans and specifications are considered one complete set of documents. It is the responsibility of all contractors to be familiar with the entire set of plans. What is shown or required on any of the plans sheets applies to any and all of the plan sheets.
- Provide openings in walls, floors and ceilings necessary to complete electrical work. Provide and install all clamps, boxes, connectors, grounding, fittings, disconnect switches, devices, face plates, fixtures, wiring controls, relays, transformers, etc., as may be required for a complete working code complying system. Electrical Subcontractor shall be responsible to seal all holes drilled in studs and plates walls within 4" of the exterior of the building.
- Alternate equipment, fixtures and/or materials to that as specified may be used if products are equal in all ways and acceptable to the Owner and Architect. Install all equipment, fixtures and materials in strict accordance with manufacturer's specifications.
- Verify the exact locations of all equipment and fixtures with General Contractor prior to rough in. Failure to do so shall be cause for relocation of rough in at cost of the Electrical Contractor including any general construction work.
- All wiring shall be copper type TW, THW and THHN, minimum AWG #14 and typically may be type NM non-metallic sheathed cable (Romex) above grade. Provide conduit of type and size where specifically required to meet NEC and local codes. For below grade, outdoors and service, run in approved type conduit to meet NEC and local codes. Conceal all circuiting above ceiling in walls or below floors.
- Devices:** To be furnished and installed by Electrical Contractor.
 - Duplex wall receptacle shall be Leviton, 15/20 amp (20 amp receptacles in kitchen and bathroom), 120 volt, typically mount 18" above floor, 42" above floor over countertops and ceiling mounted in garage as indicated on plans. GFI designates ground fault interrupter protection. WP designates weatherproof cover.
 - Single receptacle for range shall be Leviton, 50 amp, 240 volt, four wire grounding, mount 18" above floor
 - Single pole toggle type switch shall be Leviton, 20 amp, 120 volt, mount 48" above floor.
 - Three-way toggle type switch shall be Leviton, 20 amp, 120 volt, mount 48" above floor.
 - Telephone / CATV combination wall jacks, furnished, installed and terminated, run both 4 conductor phone wire and Cat 5 cable home run from the Mechanical Room to each wall jack, mount 18" above floor, unless noted otherwise.
 - OS - Occupancy Sensor shall be Watt Stopper, low profile DT-355 dual technology sensor connected to multi-circuit relay capable of interrupting power to the lighting circuits within the room.
 - MD - Motion Detector shall be Watt Stopper, DW100, dual technology occupancy sensor, wall switch.
 - Provide ivory faceplates for all applicable devices.
- Fixture Schedule:** Fixtures and Lamps furnished to Electrical Contractor for installation and lamping.
 - A. LED strip or rope lights with color changing drive.
 - B. HALO LED, 12" matte white, surface mounted disk fixture with LED lamps.
 - C. HALO LED, #SLD606830WHR, 6" matte white, surface mounted disk fixture with LED lamps.
 - D. Wall mounted, exterior coach light. Match existing fixtures at the front entry canopy as nearly as possible.

EXIT: Lithonia Lighting, Quantum, red letter, LED exit light with dual 8 watt halogen emergency light heads at interior, single remote light head at exterior and 90 minute battery backup.
EMR Provide a 90 minute battery backup capable of powering LED fixtures identified as emergency fixtures.
- Equipment requiring power wiring:** See HVAC Specifications.
 - A. Furnaces by HVAC Contractor, 120 / 240 volt, wire and connect and provide disconnect switches.
 - B. Condensing unit by HVAC Contractor, 208/240 volt, wire, connect and provide water proof disconnect switch.
 - C. Bath exhaust fans by HVAC Contractor, 120 volt, wire, connect and switch with light.
 - D. PTAC by HVAC Contractor, 240 volt, wire a dedicated outlet, verify circuit size with HVAC Contractor.
- Main Electrical Panel:** Panel shall be Square D, type NQOD, NEMA Type 1 interior panelboard with 600 amp main breaker, 120/240 volt, single phase, 42 circuits, S/N, cover, door, typed circuit directory and type QO branch breakers as required. Verify all breaker amperages. 20 amp circuits typical for all kitchens outlets. 400 amp (verify) subfeed breaker to existing panel in existing Mechanical Room.
- Service Entrance:** Contact, verify and coordinate with local power company for all service entrance requirements. Contractor shall be responsible for cost of primary service extension from local utility. Building service entrance shall be 600 amp, 120/240 volt, single phase, three-wire system. Provide Square D, CT cabinet and individual meter with two empty 2" conduit to transformer pad, 3/0 CU ground to street side of water meter, 3/4" x 10' copper ground rod. Service wire from meter to main electrical panel located in Electrical Room #115 shall be sized and installed according to the NEC.
- Transformer Pad:** Electrical Contractor shall be responsible for installation of 3500 psi concrete transformer pad as per local utility specifications.



HVAC Plan
Scale: 3/16" = 1'-0"

Cornerstone Architects, LLC
 "Designing the Future"
 6154 Sweden Boulevard
 Punta Gorda, FL 33982
 Voice: 608-343-0211 Email: brad@cornerstonearchitects.com

Sacred Heart of Jesus Catholic Church
Proposed Fellowship & Classroom Addition
 112 East 11th Street, Marshfield, WI 54449

Project:	Sacred Heart of Jesus Catholic Church Proposed Fellowship & Classroom Addition		
Sheet Description:	Lighting Plan & Specifications		
By:	ink	Scale:	As Shown
Date:	4/22/22	File:	
Last Revision:		Revision:	Date:

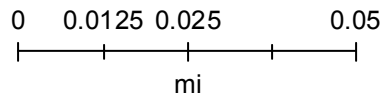


Marshfield GIS, City of Marshfield GIS Department

City of Marshfield GIS Map

Author: City of Marshfield

Printed: 5/11/2023



This is not a legal survey document. This map was compiled by the City of Marshfield's Geographic Information System based on interpretation of resources to the date printed herein.
Sources: City of Marshfield GIS Department

TO: Plan Commission
FROM: Bryce Hembrook, AICP, Planner
DATE: May 16, 2023

RE: Rezoning Request by City of Marshfield to rezone the property located at 1901 South Central Avenue (parcel 33-03532C) to “PD Planned Development”. This parcel was recently improperly rezoned to “Community Mixed Use- Planned Unit Development” instead of the intended zoning district.

Background

On August 16, 2022, the Plan Commission reviewed and approved a rezoning request by Benjamin Austin and Andrew Schutz to rezone the subject property from “CMU” Community Mixed Use to “CMU-PD” Community Mixed Use – Planned Development. The issue is that CMU-PD is not a recognized zoning district in the City and the City does not recognize planned developments as an overlay district. Traditionally, an applicant requests a rezoning to “PD” Planned Development and the underlying zoning district is generally established through the Planned Unit Development review process. This rezoning request is intended to properly rezone the property to “PD” Planned Development.

To access the original rezoning request staff report click “packet” from 8/16/22 link on the City’s website (https://www.ci.marshfield.wi.us/government/plan_commission_meetings.php)

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

APPROVE the Rezoning Request by City of Marshfield to rezone the property located at 1901 South Central Avenue (parcel 33-03532C) to “PD Planned Development”. This parcel was recently improperly rezoned to “Community Mixed Use- Planned Unit Development” instead of the intended zoning district, and direct staff to prepare an ordinance for Common Council consideration.

Attachments

1. Location Map
2. Zoning Map

S CENTRAL AVENUE


1805


1813

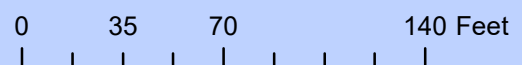
1901

1905

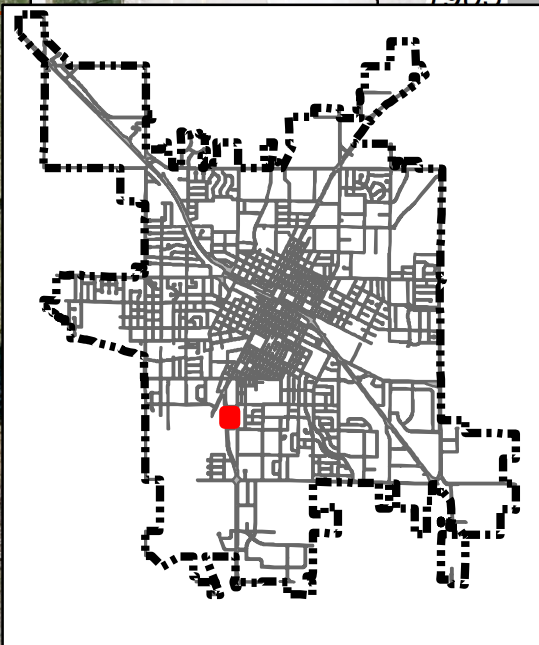
N

 City Limits

 Subject Property



ATTENTION: The representation of data presented herein is intended for reference purposes only; the City of Marshfield assumes no responsibility for the accuracy of the information provided. Any duplication without consent is prohibited.






**Location Map:
1901 S Central Avenue**

S CENTRAL AVENUE

Legend

Zoning

Zone

-  SR-6
-  CMU
-  GI

1805

CMU

1813

CMU

1901

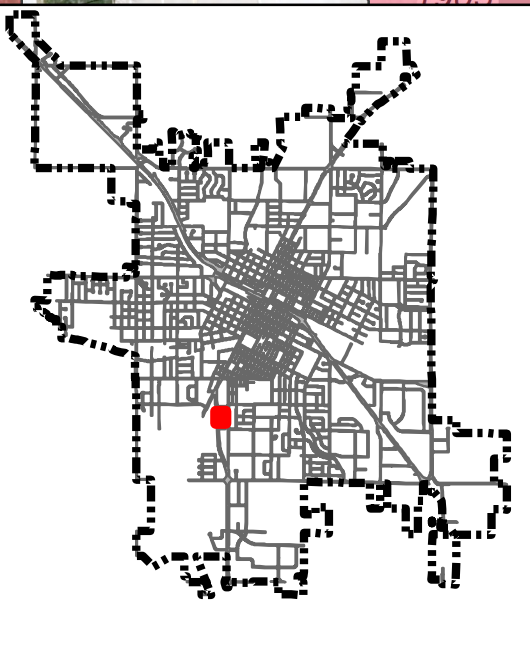
1905



CMU

CMU

CMU

N



-  City Limits
-  Subject Property

0 35 70 140 Feet



**Zoning Map:
1901 S Central Avenue**

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TO: Plan Commission
FROM: Bryce Hembrook, AICP
 Planner
DATE: May 16, 2023

RE: **General Development Plan Request** by Benjamin Austin, representing Hole in One Mini Golf, to review and approve the proposed mini-golf course for the property located at 1901 South Central Avenue (parcel 33-03532C), improperly zoned Community Mixed-Use-Planned Unit Development, but in the process of being rezoned to “PD Planned Development”.

Background

The subject property is located on South Central Avenue across the street from Vandehey Aquatic Center. The property is currently zoned Community Mixed Use (CMU) and is 50,500 square feet (1.159 acres) in area. It is currently a vacant parcel and has remained vacant since 2015 when the former commercial structure was demolished. The surrounding properties consist of single and two-family residential uses to the north and east, mixed commercial uses to the north and south, and the Vandehey Aquatic Center across Central Avenue to the west. The immediately surrounding parcels are zoned SR-6 Single-Family Residential and CMU Community Mixed Use. The applicants are interested in allowing more flexibility for the lot to allow for reduced setbacks. In August 2022, the applicant requested a rezoning to allow for the property to be a planned unit development. The property was rezoned, incorrectly, to “CMU-PD Community Mixed Use – Planned Development”, which is not technically a zoning district in the City of Marshfield. The item prior to this item on the meeting’s agenda is proposing to rezone the property to the correct zoning district designation, “PD Planned Development.”

<i>Existing Land Use</i>	<i>Zoning</i>
Vacant	Planned Development (PD)*

Adjacent Land Use and Zoning

<i>Existing Uses</i>		<i>Zoning</i>
North	Office, truck parking lot, and single-family residential	Community Mixed Use (CMU) and Single-Family Residential-6 (SR-6)
South	Office and single-family Residential	Community Mixed Use (CMU) and Single-Family Residential-6 (SR-6)
East	Single- and two-family residential	Single-Family Residential-6 (SR-6)
West	City-owned pool	Community Mixed Use (CMU)

Comprehensive Plan

<i>Land Use Recommendation</i>	<i>Land Use</i>
Future Land Use Map Recommendation	Transitional Mixed Use

Analysis

The purpose of a Planned Development (PD) is to provide for the possible relaxation of certain development standards pertaining to the underlying base zoning district (such as setbacks or lot size requirements) or other requirements of the ordinance chapter. In exchange for such flexibility, planned developments must provide a much higher level of site design, architectural control, and other aspects of aesthetic and functional excellence than normally required for other developments.

According to the City of Marshfield 2017-2037 Comprehensive Plan Future Land Use Map, the subject property is located in the Transitional Mixed Use district. The ideal land uses in the Transitional Mixed Use district include a mixture of medium to high density residential uses or mixed use development. The Transitional Mixed Use district is found along Central Avenue along with other nodes that transition from a residential area to a non-residential area. The planned unit development will essentially use CMU Community Mixed Use as the base zoning district, and this zoning district is intended to permit a wide range of large and small scale office, retail, service, and lodging uses that are compatible with the desired community character. Prior to the 2013 citywide rezoning, the subject property was zoned “B4” General Commercial district. Single-family, commercial, and recreational land uses are located immediately adjacent to the subject parcel. The Planned Development designation enables the Plan Commission and Common Council to apply conditions they find appropriate for this property and to allow flexibility in the design.

This Planned Development consists of only one parcel and is approximately 50,500 square feet in size, or 1.159 acres. The proposed use for this site is a mini-golf course, which will include 18 holes, a building for admission and concessions, and a parking lot. The proposed parking lot will be located on the west side of the property and will include 34 parking stalls. The mini-golf course will be located on the east side of the property and will be surrounded by fencing. Due to the size and the L-shaped lot, the applicant was unable to design the mini-golf course and meet zoning code requirements; thus, the applicant is requesting the Planned Development to allow for setback flexibility. The applicant is proposing to have a 10-foot setback for all activity areas (edge of mini-golf holes), building, and parking. The building and parking setbacks meet typical CMU requirements, but the activity area is typically required to be set back 100 feet from any residentially zoned property; thus requiring an exception.

Miniature golf facilities are considered to be an “Intensive Outdoor Recreation” land use, which requires a conditional use permit in the CMU zoning district; however, the Planned Development can allow the use by right. This land use type includes recreational land uses that require intensive lighting and can generate regional traffic and noise beyond property line. Some of the other land uses that are considered to be Intensive Outdoor Recreation include, but are not limited to, race tracks, stadiums, fairgrounds, batting cages, driving ranges, outdoor commercial swimming pools, amusement parks, drive-in theaters, and waterparks. The land use requires the following regulations:

- Facilities using night lighting and abutting a residentially zoned property shall install and continually maintain a bufferyard with a minimum opacity of 1.0. Said bufferyard shall be located at the property line abutting said residentially zoned property.
- Facilities which serve a regional or community-wide function shall provide an off-street passenger loading area if the majority of the users will be children.

- All activity areas shall have a minimum setback of 100 feet from any residentially zoned property.
- Minimum required parking: One space per 4 expected patrons at maximum capacity.

Note – Any of these regulations can be exempted or modified as a part of the Planned Development approval process.

The applicant is requesting remove the 100’ minimum setback from any residentially zoned property, which would result in the site being unusable for the intended use. The applicant will still propose providing a buffer with a minimum opacity of 1.0 and there is typically be a 50 foot setback, due to the intensive outdoor recreation land use requirement (bullet point 1) to serve as a bufferyard width, but the applicant is proposing 10’. Ten foot bufferyard width is required in the CMU zoning district, so this exception may be justifiable.

Parking

Intensive outdoor recreation land uses generally require one space per 4 expected patrons at maximum capacity. During the Development Review Team meeting, the applicant stated that the capacity for patrons actively playing mini-golf is 108 (6 people per hole) and 125 for the total site. Thus, approximately 32 parking stalls are required, unless the Plan Commission grants an exception to this requirement. The current proposed parking lot shows approximately 34 parking stalls; however, no landscape islands are proposed in the current plan. Generally, landscape islands are proposed every 12 parking stalls, which could occupy at least two parking stalls. Also, there will be stormwater management requirements and this could potentially alter the parking lot layout. Staff is comfortable with allowing an exception to allow fewer parking stalls, but would recommend requiring 28 parking stalls or more. In return, the applicant should add two landscape islands to the parking lot and provide landscaping near the street and parking area near Central Avenue entrance.

Landscaping

The applicant did not submit a conceptual landscaping plan by the time of this staff report. The applicant intends to add landscaping along the eastern property line along the proposed fenceline to serve as a buffer to the neighboring residential properties. No street frontage or parking area landscaping was shown on the site plan, but should be required during the SIP review. All landscaping requirements can be modified or exempted as a part of this planned development approval. Additionally, there will be landscaping in the mini-golf course area; however, that generally does not count towards the landscaping requirements.

Typical requirements for landscaping in CMU for this site:

Street frontage – 40 landscaping points

Parking area – 102 landscaping points, but would change if parking layout changes

Bufferyard – 133 landscaping points, with 6’ solid fence. There is also a 10’ minimum bufferyard width measured from the property. The applicant is proposing to meet this requirement.*

Bufferyard requirement for intensive outdoor recreation land use – 668 landscaping points (equivalent to 17 large trees or 34 medium trees), with 6’ solid fence and a 50’ minimum bufferyard width, which the applicant is requesting an exception for.

The Plan Commission should provide guidance on where they believe landscaping should be a focus on the site. Due to the small lot size, it may be beneficial to focus less on landscaping in the parking area and more on landscaping near the front entrance and along the east property line. The Plan Commission should also provide direction on the desired amount of landscaping points required, particularly for the bufferyard. The applicant shall submit a detailed landscaping plans, that complies to the landscape plan requirements in the zoning code, as a part of their Specific Implementation Plan submittal.

Stormwater Management

The Director of Public Works informed the applicant that there will need to be stormwater management plan submitted because more than an acre of land is going to be affected. The plan has not been submitted at the time of this writing, and this could alter the site plan to accommodate stormwater management features on-site. The final plan and design shall be submitted as a part of the Specific Implementation Plan submittal.

Crosswalk on Central Avenue

Due to the subject property's location across from Vandehey Aquatic Center, a crosswalk may be required to ensure safety of pedestrians trying to use both facilities. The Director of Public Works has provided recommendations to the developer regarding location and type of signage and signals to use. The developer would be responsible for the cost of installation. More information regarding this will be provided during the Specific Implementation Plan submittal.

Zoning Ordinance Requirements

Under Section 18-167(3)(e) of the Municipal Zoning Code, to receive approval for an application for a Planned Development district, the Plan Commission and, subsequently, the Common Council shall make findings with respect to the following criteria:

1. The proposed Planned Development project is consistent with the overall purpose and intent of this Chapter.

The proposed development intends to provide recreational opportunities to residents and visitors which is a recommendation discussed several times in the comprehensive plan. One of the key opportunities mentioned is to promote more family recreational opportunities in the city. The proposed development is located across from the Vandehey Aquatic Center and will likely attract visitors that plan on using both facilities in the spring, summer, and fall months. The Planned Development process allows the applicant some flexibility in setbacks, landscaping, and parking due to the unique lot layout and size.

2. The proposed Planned Development project is consistent with the City's Comprehensive Plan (it is the responsibility of the City to determine such consistency).

The subject property is located in the Transitional Mixed Use district and this proposed use does not appear to be in conflict with the recommended uses for the district. The

Comprehensive Plan does mention that this planning district is provided for areas in which careful consideration should be given to both the form and use of redevelopment projects and potential impact on surrounding residential properties. The surrounding area has recently seen reinvestment due to the construction of the aquatic center and the new Marshfield Utilities building.

3. The proposed Planned Development project would maintain the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.

This portion of the Central Avenue corridor has consisted of a mix of land uses with some older buildings, vacant lots, and now redevelopment of land on the west side of Central. The one area of concern is the compatibility of the proposed mini-golf course with the residential properties to the east. The applicant is proposing to add a privacy fence and landscaping running along the property line to mitigate concerns; however, the proposed mini-golf holes are located within a ten feet of the property line. Typically, intensive outdoor recreation land uses are required to keep activity areas at least 100 feet from residentially zoned properties. Keep in mind that mini-golf courses are considered to be the same land use (intensive outdoor recreation) as fairgrounds, racetracks, amusement parks etc., so it may not be as necessary to have a 100 foot setback for a mini-golf course compared to a racetrack.

4. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Development project, including but not limited to public sewer and water and public roads.

This is a single lot planned development project that does not require additional streets or utilities. The property will connect to existing utilities.

5. The proposed Planned Development project will incorporate appropriate and adequate buffers and transitions between areas of different land uses and development densities/intensities.

The applicant intends to provide adequate buffer landscaping and fencing along the residential properties to the east. A detailed landscaping plan has not been formally submitted, but will need to be for the next step in the process.

6. The proposed Planned Development project design does not detract from areas of natural beauty surrounding the site.

The project incorporates landscaping and is improving a currently vacant lot. The additional landscaping will enhance the property compared to its current state.

7. The proposed architecture and character of the proposed Planned Development project is compatible with adjacent/nearby development.

Only one small building is proposed and this proposed building should be compatible with the surrounding properties.

8. The proposed Planned Development project will positively contribute to the physical appearance and functional arrangement of development in the area.

The development will likely contribute in a positive manner to the aesthetics of the neighborhood because some surrounding properties are currently underdeveloped/vacant or in need of enhancements.

9. The proposed Planned Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exemption or variation of any normal standard of this Chapter.

The landscaping that will be provided on the site in exchange of the requested exemptions should be sufficient. The new landscaping will be provided to create a buffer between neighboring properties and there will be landscaping incorporated into the design of the course that should enhance aesthetics. There will also need to be stormwater management features on-site which will improve drainage on-site.

10. For Planned Development projects that are proposed to be developed in phases, the applicant can provide a clear timeline for development and can demonstrate that the project would be successful even if all phases were not or could not be completed.

Not relevant for this project.

Staff finds that the proposed General Development Plan generally meets the Planned Development criteria.

Next Steps

If approved, the General Development Plan will be forwarded to the Common Council and two readings of the proposed ordinance will be held. If the Common Council approves the General Development Plan, the developer will submit their Specific Implementation Plan which provides more in-depth information and plans. The Specific Implementation Plan is reviewed by the Plan Commission and approved/denied by the Common Council.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the request with any exceptions, conditions, or modifications the Commission feels are justifiable and applicable to the request.
2. Denial of the request with justification stated by the Plan Commission.
3. Table the request for further study.

Recommendation

Per the discretion of the Plan Commission. If approved, this request will be sent to the Common Council. Also, the applicant will need to prepare site plan and landscaping plans that provide greater detail and clarity prior to moving forward to the Specific Implementation Plan review.

Attachments

1. Location Map
2. Future Land Use Map
3. Zoning Map
4. Project Background
5. Proposed Plans

S CENTRAL AVENUE



1805

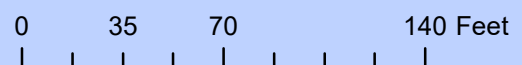
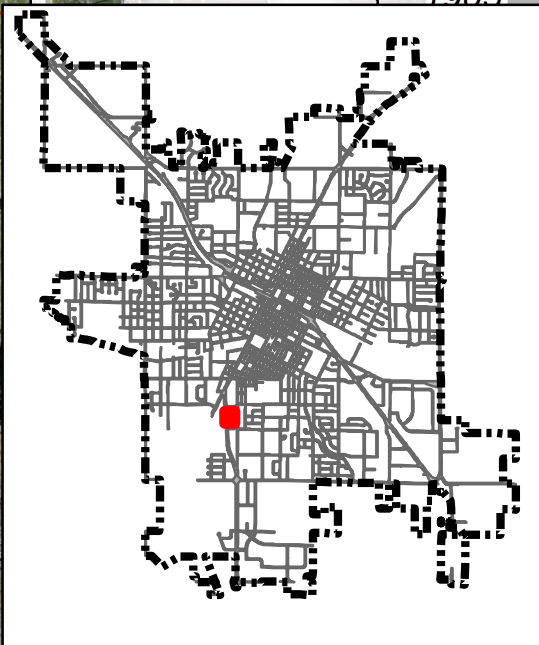
1813

1901

1905

N

 City Limits
 Subject Property




**Location Map:
1901 S Central Avenue**

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S CENTRAL AVENUE

1805

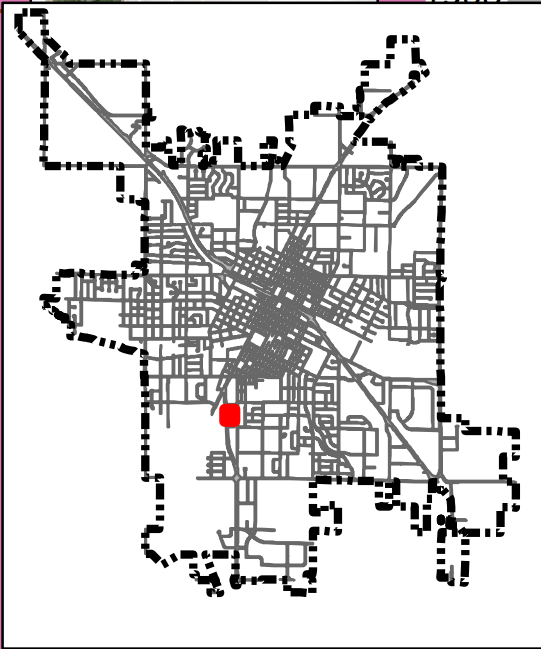
Legend

 Transitional Mixed Use


1813


1901

1905



N

 City Limits

 Subject Property

0 35 70 140 Feet



**Future Land Use Map:
1901 S Central Avenue**




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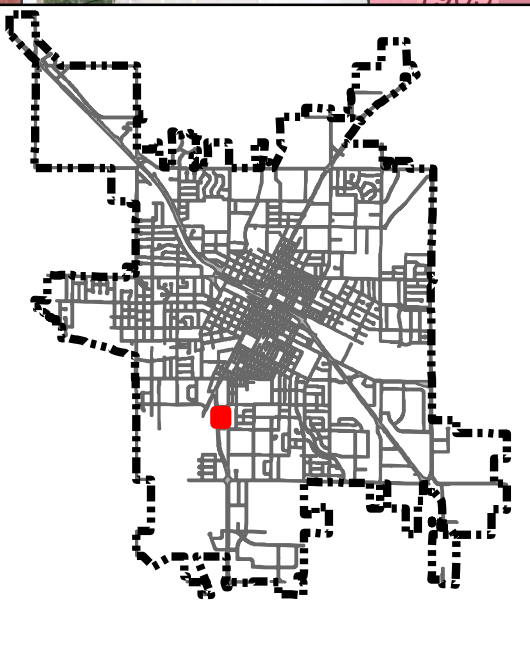
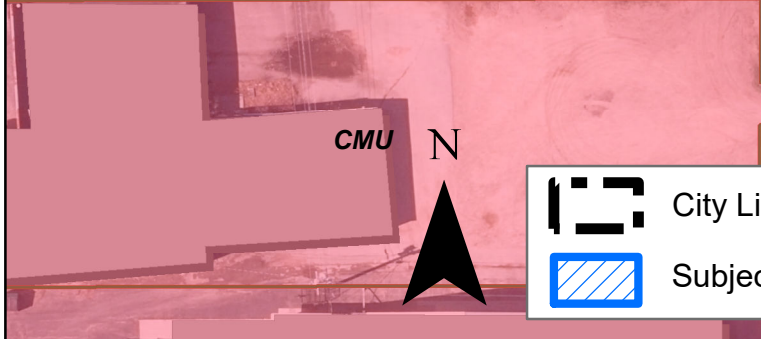
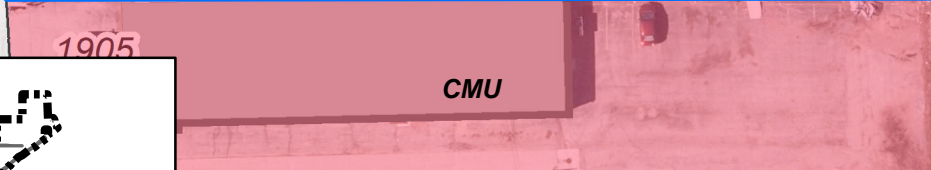
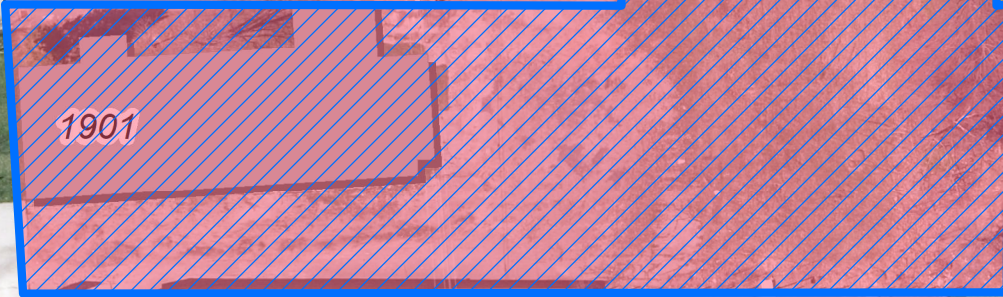
S CENTRAL AVENUE



Legend

Zoning

Zone

-  SR-6
-  CMU
-  GI



-  City Limits
-  Subject Property

0 35 70 140 Feet



**Zoning Map:
1901 S Central Avenue**

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Rough & Sand Turf Hazards

Trapezoid Paver Edge

Wooden Sluices

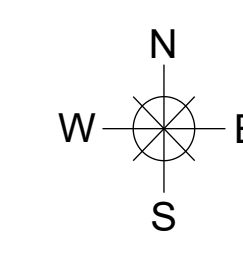


General Project theme and relationship to Comprehensive Plan:

Hole-In-One Mini Golf LLC

Providing the city of Marshfield outdoor entertainment by developing an 18 hole miniature golf with an adventure theme style course. Natural contours with rough and sand features throughout. We will also have a clubhouse and a patio where customers can enjoy a pizza or novelty ice cream afterwards. We hope to provide the people of Marshfield a memorable outdoor experience with their families.

The Hole-In-One Mini Golf project will further improve the southern portion of the city of Marshfield by complementing the already popular Wildwood Zoo as well as Vandehey Waters. This will influence the people of Marshfield to stay in our city and spend their money here. It will also entice visitors from outside communities to come to Marshfield and increase tourism dollars.



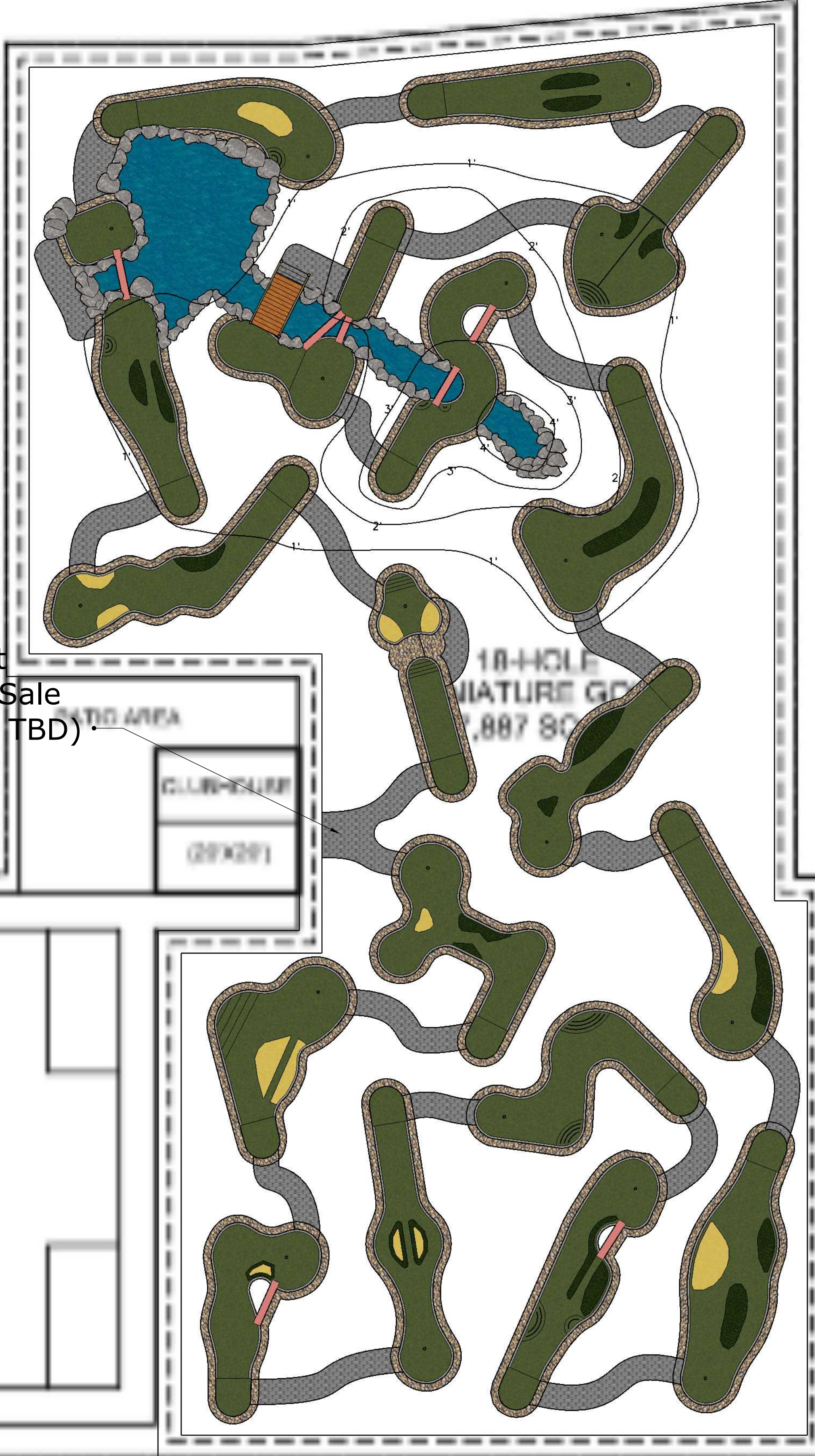
DEALER:

SHEET TITLE: Concept Layout
PROJECT: Hole In One
DATE: April 25, 2023

Rev Level: A
DRAWN BY: ES
CHECKED BY: AGS

SCALE: 3/32" = 1'0"

SHEET: 1



Natural Contours



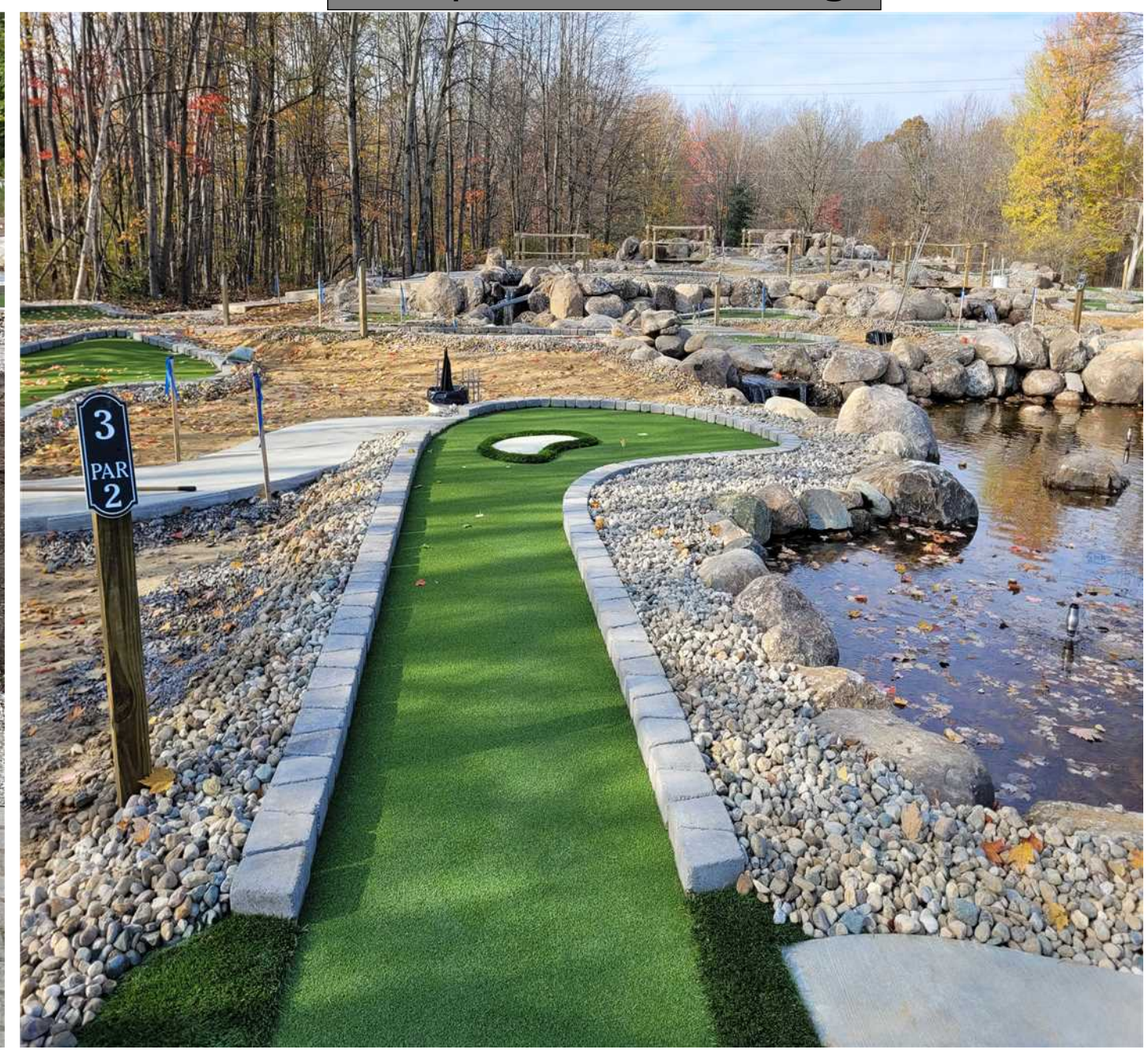
Standard Signs



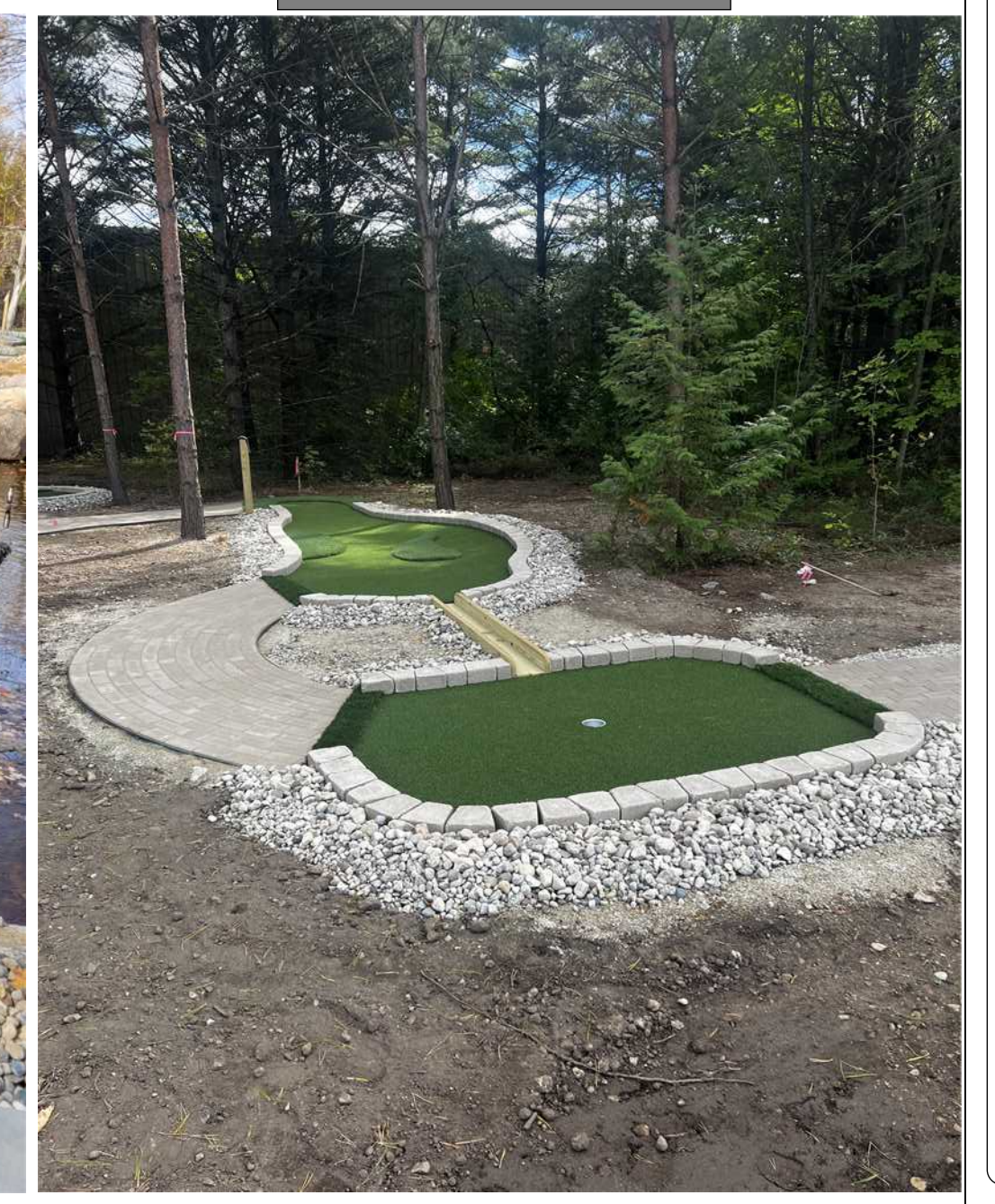
Rough & Sand Turf Hazards



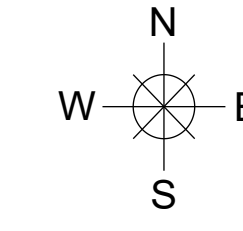
Trapezoid Paver Edge



Wooden Sluices



Tie Enter/Exit
Into Point of Sale
(Final Design TBD)



DEALER:

SHEET TITLE: Proposed Grading
PROJECT: Hole In One
DATE: April 25, 2023

Rev Level:
A
DRAWN BY:
ES
CHECKED BY:
AGS

SCALE:
3/32" = 1'0"

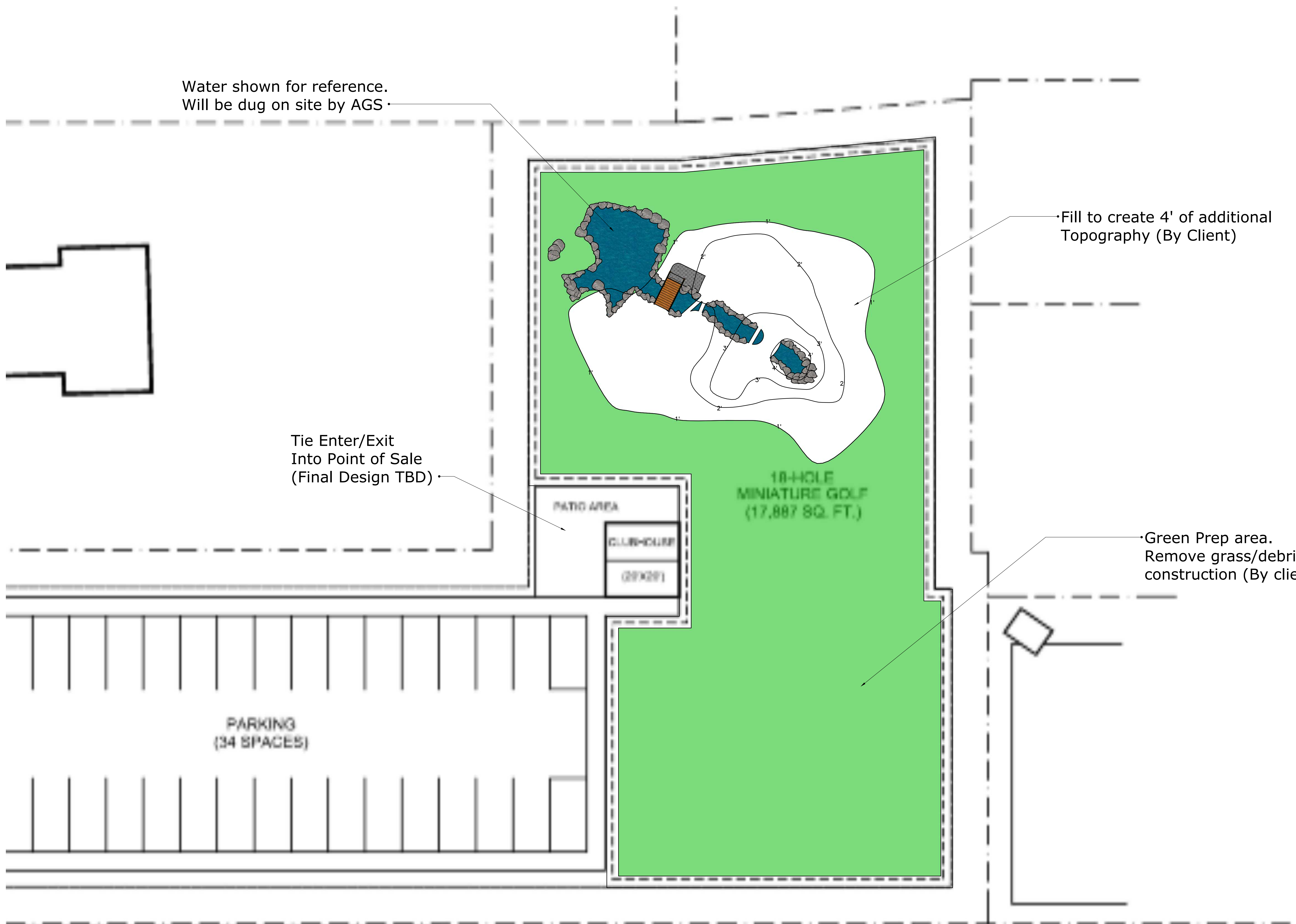
SHEET:
2

Water shown for reference.
Will be dug on site by AGS

Fill to create 4' of additional
Topography (By Client)

Tie Enter/Exit
Into Point of Sale
(Final Design TBD)

Green Prep area.
Remove grass/debris for
construction (By client)





Water shown for reference.
 Will be dug on site by AGS

10ft

Fill to create 4' of additional
 Topography (By Client)

10ft

10ft

Tie Enter/Exit
 Into Point of Sale
 (Final Design TBD)

10ft

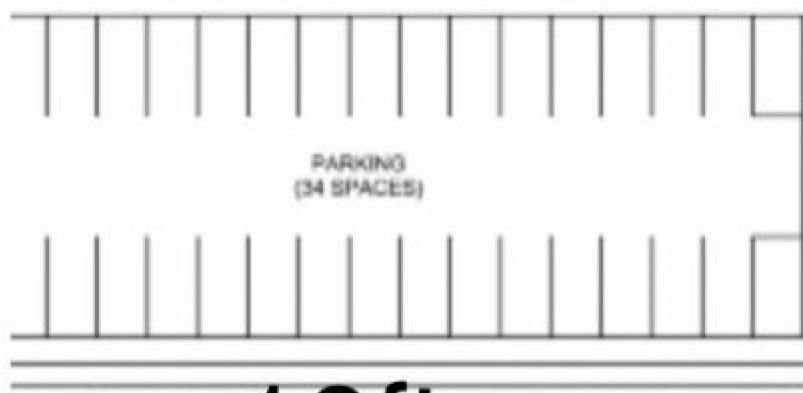
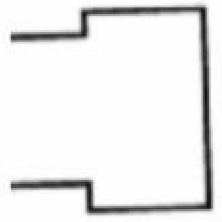
Green Prep area.
 Remove grass/debris for
 construction (By client)



10ft

10ft

10ft



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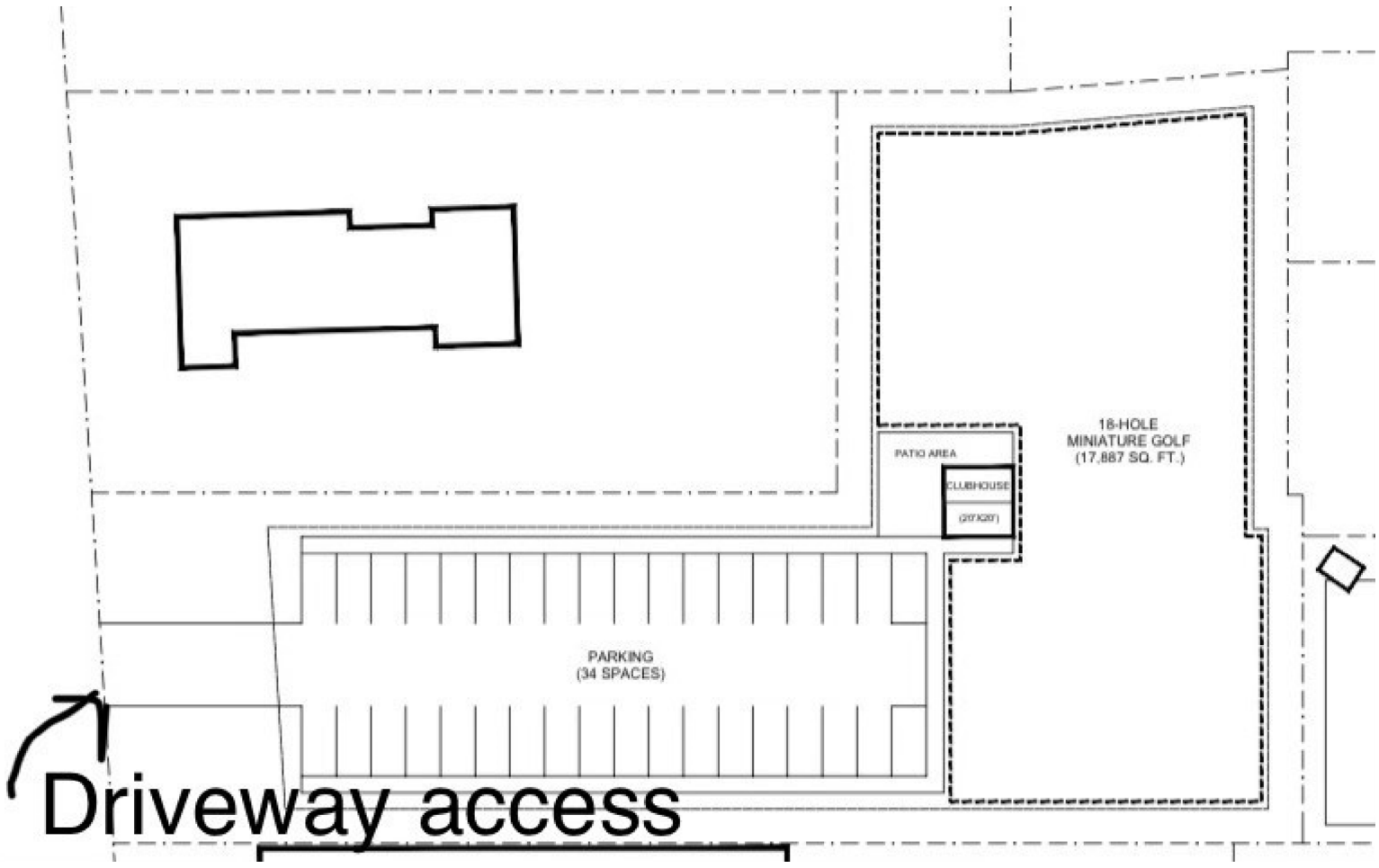


Rough & Sand Turf Hazards

Trapezoid Paver Edge

Wooden Sluices





Driveway access





Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Planar_Planar	Illuminance	Fc	5.27	14.5	0.2	26.35	72.50	Readings taken at ground	5	5	Normal
StatArea_1	Illuminance	Fc	10.50	14.5	3.7	2.84	3.92	Readings taken at ground			

Luminaire Schedule

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts
☒	17	A1	ALED5S150N	Single	13860	13860	1.000	150w, 4000K, Type V	147.6	147.6	2509.2

Expanded Luminaire Location Summary

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A1	145	127	15	0	0
2	A1	190	127	15	0	0
3	A1	156	107.5	15	0	0
4	A1	182	99	15	0	0
5	A1	41.5	98	15	0	0
6	A1	75	95	15	0	0
7	A1	107.5	80	15	0	0
8	A1	136	78	15	0	0
9	A1	191	77.5	15	0	0
10	A1	55	73.5	15	0	0
11	A1	169.5	65.5	15	0	0
12	A1	93	59	15	0	0
13	A1	43.5	53	15	0	0
14	A1	115	48	15	0	0
15	A1	153	47	15	0	0
16	A1	199	46	15	0	0
17	A1	68	42.5	15	0	0

Total Quantity: 17



The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of the designer.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal. Patents issued or pending apply.

Scale: as noted
 Date: 5/10/2023
 Filename: Graybar Marshfield Mini Golf.AGI
 Drawn By: Andrew Kuehn

Job Name: Marshfield Mini Golf Lighting Layout Version A

Prepared For: Graybar Chris Zarecki



File Name: C:\Users\inside\Sales\Documents\Andrew.AGI\2023\May\Graybar Marshfield Mini Golf.AGI

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

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TO: Plan Commission
FROM: Bryce Hembrook, AICP
 Planner
DATE: May 16, 2023

RE: Conditional Use Request by Kevin Cooper to allow a conditional home occupation to allow firearm cleaning and repair services and occasional sales, for the property located at 3207 South Central Avenue (parcel 33-03548C), zoned “CMU Community Mixed Use”.

Background

The subject property is located on the southwest side of the City and is zoned “CMU Community Mixed Use”. The applicant is requesting to operate a gunsmith business from his residence. According to the applicant, he plans to clean and repair firearms by appointment only and will sell firearms online and at gun shows. There will be a limited number of firearms locked in storage and he will have to comply with any regulations from the ATF (Bureau of Alcohol, Tobacco, Firearms, and Explosives). The applicant stated that there will not be regular traffic to the site and it will mainly involve service and repair. The residence is located in a two-family residential structure and there are two single-family residential structures, storage units, and a commercial/storage building on the same property. Generally, a gunsmithing business is permitted in the CMU zoning district; however, since the proposed use is considered an accessory to the residential land use, it requires a conditional use permit for a conditional home occupation. The applicant is currently in the process of obtaining a Federal Firearms License (FFL).

<i>Existing Land Use</i>	<i>Zoning</i>
Mixed. Single- and two-family residential, storage, and commercial	Community Mixed Use (CMU)

<i>Adjacent Existing Uses</i>		<i>Adjacent Zoning</i>
North	Industrial and outdoor storage	Light Industrial (LI)
East	Industrial and outdoor storage	Community Mixed Use (CMU) and Light Industrial (LI)
South	Industrial	Community Mixed Use (CMU)
West	Office	Community Mixed Use (CMU)

<i>Land Use Recommendation</i>	<i>Land Use</i>
Future Land Use Map Recommendation	Employment Retail Mixed Use

Analysis

When a property owner decides to conduct an accessory land use (such as running a business) out of their residence, it can be allowed as a ‘Minor Home Occupation’ or a ‘Conditional Home Occupation’. A Conditional Home Occupation allows for a home business to sell items on-site to customers and are intended to provide more flexibility, while a Minor Home Occupation is limited to service-oriented businesses and businesses that generate no customer visits. Section 18-65(1 & 2) of the Municipal Code covers these two accessory land uses in greater detail. The applicant is proposing to use approximately 100 square feet of their 700 square foot residence for business purposes. There are a number of regulations that are required for a conditional home occupation, and the proposed use appears to meets these requirements.

The Plan Commission first approved a similar request back in 2013. At that time, Staff contacted an inspector with the ATF out of Milwaukee to find out about the process for someone applying for an FFL. The inspector stated that the FBI is involved and a fingerprint and thorough background check is completed. The ATF inspector will also conduct an on-site inspection, provide the Applicant with the laws and regulations for the FFL, and makes sure adequate security is provided for any stored guns.

The 2017 Wis. Act 67 notes that decisions to approve or deny a conditional use permit, and to attach conditions to said permit, must be supported by substantial evidence. Substantial evidence includes facts and information, and does not include personal preferences or speculation.

Conditional Use Review Criteria of 18-161(6)(c)

(c) The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

- 1. Is in harmony with the recommendations of the Comprehensive Plan.*

Staff does not find any conflict with the proposed project and the Comprehensive Plan.

- 2. Will result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future.*

The appearance of the neighborhood would not change as there will be no exterior changes to the home, except a sign which will have to meet sign code requirements for residential districts. Allowing this request will not likely result in substantial or undue adverse impacts on nearby properties or the character of the neighborhood. This proposed use would be permitted by right if it was the principal land use, so allowing it as an accessory use to the residence should not negatively impact the neighborhood. The only residential units nearby are located on the same lot and owned by the same owner.

3. *Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.*

This project is not expected to negatively impact the consistency of the nearby land uses. The property is zoned for commercial this land use is generally permitted in the CMU zoning district.

4. *The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.*

The existing building will not require any additional services to accommodate the proposed conditional use.

5. *The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

Occupations similar in nature have not received any complaints from the public, nor have they create any adverse effects to their neighborhoods. The potential traffic is minimal and will be on appointment only basis. Staff does not feel approving this conditional use would cause an adverse impact to the City.

Plan Commission Options

The Plan Commission can make the following recommendations:

1. Approval of the revision with any exceptions, conditions, or modifications the Commission finds are justifiable and applicable to the request.
2. Denial of the revision with justification stated by the Plan Commission.
3. Table the request for further study.

Review and Consideration

Staff recommends APPROVAL of the Conditional Use Request by Kevin Cooper to allow a conditional home occupation to allow firearm cleaning and repair services and occasional sales, for the property located at 3207 South Central Avenue (parcel 33-03548C), zoned "CMU Community Mixed Use" with the following conditions:

1. Any proposed signage for this home occupation shall comply with the sign code regulations for residential districts.
2. Business operations are limited to cleaning, repairing, and servicing firearms. Sales are permitted through online sites and at gun shows.
3. Failure to obtain a Federal Firearm License within 12 months of approval, or the sale or transfer of the property will cause the conditional use permit to be null and void.
4. Failure by the applicant to meet the requirements of the Federal Firearms License will cause the conditional use permit to be null and void.
5. Any significant changes to the Federal Firearm License will require a review of this conditional use permit.

Attachments

1. Location Map
2. Zoning Map

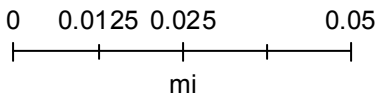


Marshfield GIS

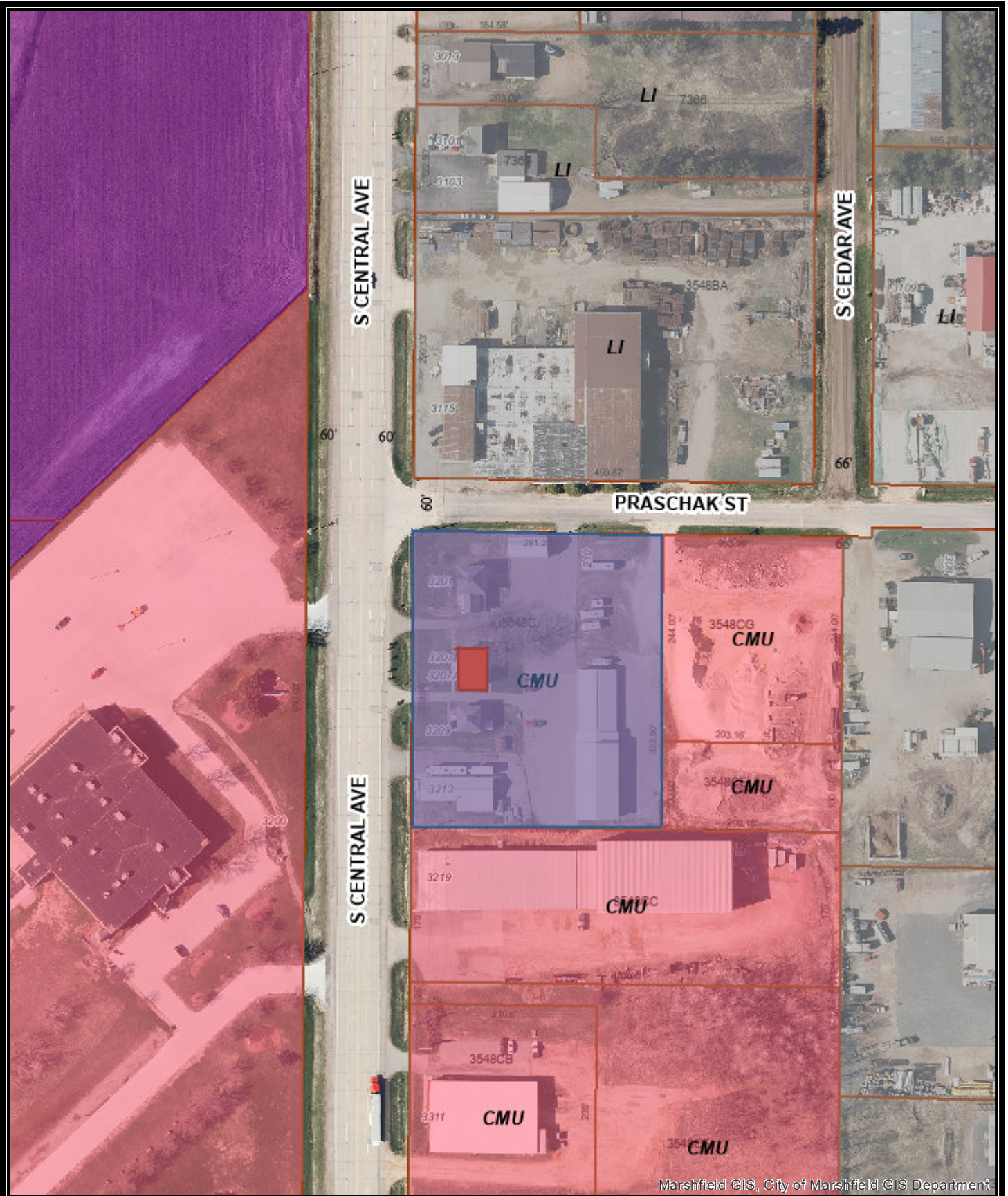
City of Marshfield GIS Map

Author: City of Marshfield

Printed: 5/11/2023



This is not a legal survey document. This map was compiled by the City of Marshfield's Geographic Information System based on interpretation of resources to the date printed herein.
Sources: City of Marshfield GIS Department

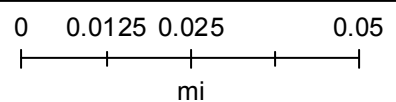


Marshfield GIS, City of Marshfield GIS Department

City of Marshfield GIS Map

Author: City of Marshfield

Printed: 5/11/2023



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Sources: City of Marshfield GIS Department

Proposed changes will amend Sections 9-52 (1), 9-52 (3), create section 9-52 (5) and amend Sections 18-25, 18-26, 18-27, 18-28, 18-29, 18-30, 18-54, 18-65, 18-106 of the City of Marshfield Municipal Code.

Section 9-52 (1)

- 1) Permit License required. Except as provided in section 9-52 (5) of this chapter no person shall keep any horse, mule, donkey, pony, cow, pig, goat, sheep, swine, fowl, or animal raised for fur-bearing purposes within the city, except in an outlying district where there are no residences other than that occupied by the owner or occupant of the premises upon which such animals are kept and within a distance of 200 feet of the structure or fence housing or enclosing such animal, without a special written permit license therefore issued by the city clerk, ~~upon recommendation of the building services supervisor and committee on health~~ after an inspection of the premises and a finding of fact to the effect that no nuisance will be created thereby. Such special permit license shall be issued for the keeping of such animals on any lot only in the following cases:
 - a. Where such animals were being lawfully kept on such lot prior to the enactment of the ordinance from which this section derives.
 - b. Where such animals were being lawfully kept on such lot after the enactment of the ordinance from which this section derives in an area in which there were no residences within a distance of 200 feet of the structure or fence enclosing such animals, and subsequently one or more residences were built, bringing the structure or fence housing the animals within the restricted distance.
 - b.c. As a condition to approval of the application, applicant must register their premises through the Wisconsin Livestock Identification Consortium at www.wiid.org or the Department of Agriculture, Trade, and Consumer Protection (DATCP). Proof of registration must be provided by the applicant upon request by the City.

Commented [WS1]: Perhaps delete if we include in the Chicken keeping section?

Section 9-52 (3)

- d. *Small animals and fowl.* Except as provided in section 9-52 (5) of this chapter, standards for enclosures for small animals and fowl shall be as follows:
 1. *Structures.* No chicken coop, dovecote, dog kennel built for or intended for the use of more than two dogs, rabbit warren built for or intended for the use of more than two rabbits, or other yard or establishment where small animals or fowl are kept shall be maintained, nor shall more than two dogs, cats, rabbits, guinea pigs, nor any ducks, geese, chickens, or other fowl be kept, on any premises within the city limits, except in outlying districts where there is no tenement or apartment house; hotel; restaurant; boardinghouse; retail food store; building used for school, religious or hospital purposes; or residence other than that occupied by the owner or occupant of the premises upon which such yard, establishment or creatures are maintained or kept, within a radius of 200 feet of such yard or establishment or structure or area enclosing such creatures, without a special written permit license issued ~~by the building services supervisor~~ after an inspection of the premises and a finding of fact to the effect that no nuisance will be created thereby. Such special permit license shall be issued for the maintenance of any such yard or establishment or fowl or animals which were being lawfully

maintained or kept on such lot prior to the enactment of the ordinance from which this section derives.

2. *Existing uses.* Where such yard or establishment or fowl or animals were being lawfully maintained or kept on such lot prior to the enactment of the ordinance from which this section derives in an area in which there were no such buildings or residences within a distance of 200 feet of the structure enclosing such animals, and subsequently one or more such buildings or residences were built bringing the structure or area housing the animals within the restricted distance. Such ~~permit~~ license shall be for the term of one year and shall not be renewed without a reinspection. The provisions of this subsection shall not apply to the keeping or maintaining of guinea pigs or other small animals for bona fide medical research purposes by duly qualified persons, or to the keeping or maintaining of small animals or fowl for bona fide pet shop purposes ~~in a B-2 or a B-4 zoning district under the when permitted in the zoning code of the city where such pet shop is located not closer than 50 feet from any building or place as designated in this subsection;~~ provided that such animals are kept and maintained indoors, and provided further that the keeping or maintaining of such small animals does not create a nuisance.

Section 9-52 (5)

Chickens.

(1) *Purpose.* This section is intended to regulate the keeping of chickens on single-family lots within the City and limit issues that could arise with unregulated chicken-keeping in the City. In regulating chicken-keeping the City can accommodate property owners wishing to keep chickens in a legal manner while maintaining the comfort, use, and enjoyment of surrounding properties by their owners.

(2) *Definitions*

- (1) *“Abutting lot”* shall mean all lots that the applicant’s property contacts at one or more points including lots that only contact the applicant’s property at the corners. The exception is lots that are legally abutting but separated from the applicant’s property by a public or private street, alley, or other right-of-way.
- (2) *“Chicken”* shall mean hens or pullets only and does not include roosters.
- (3) *“Chicken-keeper”* shall mean a person who owns one or more chickens on his or her property.
- (4) *“Chicken enclosure, Chicken coop, housing facilities, enclosure”* shall mean the enclosure inhabited by one or more chickens constructed for such purpose.
- (5) *“Lot”* means a contiguous parcel of land under common ownership.
- (6) *“Run”* or *“Pen”* shall mean a fenced or enclosed outdoor space provided for chickens. Runs must be fully enclosed, including all sides and the top.
- (7) *“Primary Residential Structure”* or *“Principal Structure”* shall mean any building located on a lot used for living purposes.
- (8) *“Private Nuisance”* shall mean a condition that materially interferes with the ordinary comfort, use or enjoyment of the property of another.

(3) *License Required.* No person shall maintain or keep any chicken within city limits prior to obtaining an annual license from the City and registration with the State of Wisconsin. The

license year shall commence on July 1st of every year and licenses shall expire by June 30th of the following year. Prior to obtaining a license from the City, the applicant shall provide proof of State Livestock Registration.

- (1) Every Chicken-keeper shall pay the required fee and obtain a license to keep chickens on property owned and occupied by the person.
- (2) A maximum of four (4) chickens may be kept on lots containing single-family residential uses if:
 - a. The license application is submitted including but not limited to the following information: name of applicant, property address, contact number, license fee, and scaled, dimensioned site plan showing property boundaries, locations of existing principal and accessory structures, and the proposed location of chicken coop and run area consistent with the standards of practice listed in this section, together with the names, addresses, phone numbers, and supporting signatures of all abutting property owners indicating their consent, including owners of lots that touch only a corner of the subject property. The materials accompanying the license application shall include current proof of premises registration through the Wisconsin Livestock Identification Consortium at www.wiid.org or the Department of Agriculture, Trade, and Consumer Protection (DATCP). The City Clerk may deny the application if the applicant fails to provide all required materials listed above.
 - b. Approval for the construction of the required coop and run is granted by the Development Services Department and a license to keep chickens is issued by the City Clerk's office.
 - c. Inspection: Upon an approved application, applicant shall be required to schedule an inspection with the Development Services Department and Ordinance Control Officer, or designee. License shall not be issued until inspection has been completed and premises approved.
- (3) Licenses are personal to the applicant, non-transferrable, and do not attach to or run with the land.
- (4) The fee for the initial license and renewals shall be as established by the Common Council. Annual license renewal is required and the renewal fee shall equate to the initial license fee as established by this Chapter.
- (5) If the standards of practice as listed in this Chapter are not established and/or maintained after the issuance of a chicken keeping license, the license may be revoked by the City. Once such a license is revoked, it shall not be reissued for a period of at least two years.

(4) *Standards of Practice.* Every chicken-keeper shall provide the chickens with shelter and bedding as prescribed in this Section as a minimum.

- a. All chickens shall be kept and maintained within a stationary, detached structure whose sole purpose is the keeping of chickens. Temporary or movable structures or devices are prohibited. An exemption is for chicks which can be incubated indoors for no more than four (4) weeks.
- b. The housing facilities shall be structurally sound, moisture proof, and maintained in good repair.
- c. Chicken enclosures must be constructed and maintained to allow sufficient space for adequate freedom of movement and retention of body heat for each animal.
- d. The chicken enclosure's floor, foundation, and any footings shall be constructed using a hard, cleanable surface such as concrete, wood, linoleum, or hard plastic and shall be resistant to rodents. A dirt floor is not acceptable.

- e. A sufficient quantity of clean bedding material shall be provided in order to provide insulation and protection against the cold and dampness and to promote the retention of body heat.
- f. Chickens shall be provided enclosures that are enclosed, predator-proof, insulated, and adequately ventilated.
- g. Chicken coops shall be constructed to provide at least four (4) square feet per chicken, with a maximum area of forty (40) square feet.
- h. Chicken enclosures shall be constructed and maintained so as to prevent rodents from being harbored underneath or within the walls.
- i. Chicken feed shall be stored in a vermin-proof container which makes it inaccessible to rodents, vermin, wild birds, and predators.
- j. The chicken enclosure shall provide elevated perches to allow chickens to rest in their natural roosting positions.
- k. Chickens shall be secured in the enclosure during non-daylight hours.
- l. All chicken coops and pen areas shall be set back at least twenty-five (25) feet from an existing principal residential structure on an abutting lot (new homes and additions shall not necessitate relocation of an existing coop). Chicken coops and pens shall be located at least 5 feet from the side and rear lot lines of the subject property.
- m. No chicken coop or pen area shall be placed in the front yard or any closer to the front lot line than the principal structure. Additionally, coops and run areas shall be visually screened from direct view of the street and sidewalk with either a solid fence or dense hedges of at least 5 feet in height. On corner lots only the view from the front street frontage shall require such screening.
- n. The chicken coop shall include a run or pen area of at least 10 square feet per bird for access to sunlight, exercise, soil, and vegetation (maximum area of 80 square feet).
- o. The run/pen area shall be enclosed with a 6-foot fence or fence that is less than 6 feet in height provided it is covered with a mesh or other appropriate coverings which may include a roof suitable to prevent chickens from escaping the pen area.
- p. Chickens shall be secured within the chicken coop and pen area at all times. At no time shall the owner(s) allow chickens to roam outside of these areas.
- q. All chicken coops and pen areas shall be kept in a clean, sanitary condition and free from all objectionable odors and shall be subject to the inspection and approval of an Ordinance Control Officer. All chicken enclosures, attached runs/pens, and yards where chickens are kept or maintained shall be cleaned regularly to keep them reasonably free from substances, including but not limited to manure, uneaten feed, feathers, and other such waste so that it does not cause the air or environment to promote the breeding of flies, mosquitoes, or other insects, or to provide a habitat, breeding or feeding place for rodents or other animals, or otherwise be injurious to public health. Manure shall not cause a private nuisance and shall be disposed of either off-site or as fertilizer or mulch for on-site use.
- r. Chickens shall be kept and handled in a sanitary manner to prevent the spread of communicable diseases among birds or to humans.
- s. Any person keeping chickens shall immediately report any unusual illness or death of chickens to the Health Department of the county in which the person's property is located.

(5) Prohibitions.

- (1) The slaughter of chickens within the city is prohibited.
- (2) No property shall contain more than four (4) chickens.

- (3) Roosters are prohibited except in Rural Holding (RH-35) Zoning Districts or unless part of an agricultural operation authorized by the City of Marshfield Zoning Ordinance (Chapter 18) of the Municipal Code.
- (4) Chicken-keeping within the City may only occur on lots containing single-family residential land uses. Chicken-keeping on lots containing any other land uses is prohibited. *(Should we note the exception for educational purposes here?)*
- (5) Chickens shall not be kept or maintained within a residential structure, including basements, porches, garages, sheds, or similar storage structures. An exemption is permitted for chicks, allowing them to be incubated indoors for a period not to exceed four (4) weeks.
- (6) The commercial sale of eggs (on or off premises) is prohibited except as otherwise permitted by the State of Wisconsin and United States Department of Agriculture.
- (7) Chickens with infectious diseases capable of being transmitted from bird to bird or birds to humans, including but not limited to, salmonella, avian influenza, etc., are prohibited and shall be immediately euthanized by a veterinarian.
- (8) No one other than the owner(s) of the subject property where chickens would be kept may apply for a license for that property.

Commented [WS2]: We can. If so, should we just move both exceptions up here and eliminate the "Exceptions" section from below?

Commented [WS3]:

Commented [WS4R3]:

(6) Exceptions.

- (1) Chickens, when used by educational institutions, only for educational purposes, do not require a license and are exempt from the requirements of this Chapter.
- (2) If no complaints have been made in the prior year, no inspection of the applicant's property is required upon permit renewal.

(7) Appeals regarding Determinations to Deny Permit.

- (1) The City of Marshfield elects not to be strictly bound by the provisions of Chapter 68: Wisconsin Statutes in relation to Appeals of Determinations to Deny Chicken-keeping Permits under this Chapter and all appeals shall proceed as follows.
- (2) Any person denied a permit may file an appeal with the Judiciary and Licensing Committee within ten (10) business days of the date the notice of denial is postmarked.
- (3) Notices of Appeal shall be filed with the City Clerk's office in writing, specify the reasons for the appeal and bear the signature of the person making the appeal.
- (4) The Judiciary and Licensing Committee shall decide whether to uphold or reverse the administrative decision of the City Clerk or Designee.
- (5) The Judiciary and Licensing Committee shall act upon the appeal and issue its written decision within sixty (60) days of the filing of the Notice of Appeal. The decision of the Common Council shall be the final determination in relation to this issue and may be appealed within the time specified and as provided in Section 68.13 Wisconsin Statutes.

H8. Revocations of Permits

- (1) *Authority.* The Ordinance Control Officer shall have the authority to investigate complaints regarding violations of this Section.
- (2) Revocation of permits may be commenced by complaint filed by City staff acting in their official capacities or by any abutting property owner.
- (3) Complaints shall be filed with the City Clerk in writing or electronically, specifying the reasons revocation of the permit is necessary, and bear the signature of the person making the complaint.
- (4) The City Clerk shall refer the complaint to the Ordinance Control Officer who shall investigate the complaint and may revoke the license by giving written notice of

revocation to the licensee if the licensee has failed to correct any violation or violations set forth in a written warning given by the Ordinance Control Officer.

- (5) Any person(s) aggrieved by the decision of the Ordinance Control Officer may appeal such decision to the Judiciary and Licensing Committee within ten (10) business days of mailing of a written order from the Ordinance Control Officer.
- (6) The Judiciary and Licensing Committee shall decide whether to uphold or reverse the administrative decision of the Ordinance Control Officer.
- (7) The Judiciary and Licensing Committee shall act upon the appeal and issue its written decision within sixty (60) days of the filing of the Notice of Appeal. The decision of the Judiciary and Licensing Committee shall be the final determination in relation to this issue and may be appealed within the time specified and as provided in Section 68.13 Wisconsin Statutes.
- (8) Unless appealed as provided above in which case such appeal shall act as a stay upon this provision until a final determination is issued by a court of competent jurisdiction, upon revocation of a permit the property owner shall cease all chicken-keeping activity on his or her lot and remove all chicken-keeping structures within thirty (30) days. Failure to do so shall be a violation of this Ordinance. The Ordinance Control Officer shall have the responsibility of enforcing this provision and may take such action as is necessary to abate such violation.

~~p. Authority: The Ordinance Control Officer shall have the authority to investigate complaints regarding violations of this Section. The City and may revoke the permit license by giving written notice of revocation to the permitlicenstee if the permitlicensetee has failed to correct any violation or violations set forth in a written warning given by the Ordinance Control Officer.~~

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Section 18-25(4) (RH-35) Rural Holding Zoning District Accessory Uses Permitted by Right, is amended to include the following use:

- (t) Backyard Chickens.

Section 18-26(4) (SR-2) Single Family Residential–2 Zoning District Accessory Uses Permitted by Right, is amended to include the following use:

- (p) Backyard Chickens.

Section 18-27(4) (SR-3) Single Family Residential–3 Zoning District Accessory Uses Permitted by Right, is amended to include the following use:

- (p) Backyard Chickens.

Section 18-28(4) (SR-4) Single Family Residential–4 Zoning District Accessory Uses Permitted by Right, is amended to include the following use:

- (p) Backyard Chickens.

Section 18-29(4) (SR-6) Single Family Residential–6 Zoning District Accessory Uses Permitted by Right, is amended to include the following use:

- (p) Backyard Chickens.

Section 18-30(4) (TR-6) ~~Two~~Single Family Residential–6 Zoning District Accessory Uses Permitted by Right, is amended to include the following use:

- (p) Backyard Chickens.

Section 18-54 Table of Land Uses Accessory Uses is here amended to read as follows:

Rural Holding (RH-35)	Single Family Residential – 2 (SR-2)	Single Family Residential – 3 (SR-3)	Single Family Residential – 4 (SR-4)	Single Family Residential – 6 (SR-6)	Two Family Residential – 6 (TR-6)	Multi-Family Residential – 12 (MR-12)	Multi-Family Residential – 24 (MR-24)	Mobile Home – Residential – 8 (MH-8)	Neighborhood Mixed Use (NMU)	Community Mixed Use (CMU)	Urban Mixed Use (UMU)	Downtown Mixed Use (DMU)	Industrial Park (IP)	Light Industrial (LI)	General Industrial (GI)	Research and Development (RD)	Campus Development (CD) Central Area	Campus Development (CD) Peripheral Area	<p>Land Uses Permitted: Refer to the detailed definitions and requirements listed for each land use on the following pages.</p> <p>P: By Right C: By Conditional Use Permit</p>
P	P	P	P	P	P												P/ C	P/ C	

Commented [WS5]: Are we permitting in TR-6 districts? Or do we need a footnote here clarifying that they are permitted in TR-6 districts only at single-family properties?

Section 18-65(20) Accessory Land Uses and Structure is hereby created to read as follows:

- (20) Backyard Chickens: This land use includes the housing of chickens in a residential setting including the use of chicken coops and pens. Applicants must apply for a license and meet the requirements of Section 9-52 of the Marshfield Municipal Code.

Section 18-106(3)(b)(2) Exemptions from permit and permit standards is hereby amended read as follows:

- 2. Decorative fencing, fences encompassing a garden, and other similar fences including pet kennels, and chicken pens, are exempt from a required permit provided they are not located in the required or provided front yard, are setback a minimum of 5 feet from all property lines, and do not exceed 6 feet in height.

Chicken Ordinance

Other Communities

Wausau – Annual permit required (\$35.00 Fee). They require proof of registration with the Wisconsin DATCP. An inspection is completed (unsure who does the inspection).

Requirements-

- No more than 4 hens or pullets are allowed on the premises.
- Roosters are prohibited.
- Chickens may only be kept at a residential zoning lot designated as SR-2, SR-5, or SR-7 (single-family residential), TF-10 (two-flat residential), or MR-12, MR-20, or MR-50 (multi-family residential). The property owner shall reside on the premises regulated by the permit.
- No slaughter of chickens may occur on the premises or within the city other than at a licensed meat processing facility.
- Chickens may only be kept in a chicken coop or an attached and contiguous run. Between sunrise and sunset, chickens may be allowed outside of the coop into the run. Chickens must be secured within the coop between sunset and sunrise.
- The chicken coop or run shall only be located within the rear yard of the premises. A chicken coop and run must be located no closer than 10 feet to any property line and no closer than 25 feet to any principal residential structure on an adjacent lot.
- Chicken coops and attached and contiguous runs shall be large enough to provide at least 3 square feet per chicken and cannot exceed a maximum of 24 square feet in size.
- Chicken coops and runs shall be constructed in a workmanlike manner, be moisture-resistant and either raised up off the ground or placed on a hard surface such as concrete, patio block, or gravel. Chicken coops and runs must be secure and impermeable to rodents, wild birds and predators, including dogs and cats and must be constructed or modified in a fashion to provide a humane environment for the chickens, include adequate ventilation, adequate sun, adequate shade and adequate protection from adverse weather.
- Commercial activity related to the keeping of chickens is prohibited, including fertilizer production and the sale of eggs.
- All food supplies maintained for the chickens must be kept in a secure and rodent-proof container.
- All waste generated by the chickens shall comply with other provisions of Chapter 8 of Wausau's Code.

Stevens Point – Permit for \$10. I could not find whether it was one-time or annual fee. Require a Wisconsin DATCP "Livestock Premises Registration Application" and provide a registration number.

Requirements –

- No more than 5 chickens shall be kept on a residential lot.
- No person shall keep any rooster.

- No person shall slaughter any chickens.
- The chickens shall be provided with a covered enclosure and must be kept in the covered enclosure or a fenced enclosure at all times.
- No enclosure shall be located closer than 25 feet to any residential structure on an adjacent lot.

Other Info – A permit may be revoked by affirmative vote of the Common Council at any time upon application by the Building Inspector and a showing that the person has been in violation of one or more provisions of any city ordinances related to the keeping of animals. Also, must provide a written description and drawings of the proposed enclosure and its placement on the applicant’s property.

Wisconsin Rapids – Permit required (annual fee is \$15). They require proof of Livestock Registration with the WI DATCP, a plot plan showing the location of the coop and attached enclosure, and plans and specifications for the coop and enclosure.

Requirements –

- Up to 4 chickens may be raised within a lot zoned R-1 residential (one-family) or a lot zoned R-2 residential (one and two-family), provided there is a use as a single-family or two-family; upon notification of all abutting property owners, and upon application and permit.
- Rental tenants of a single-family dwelling or a one-two family dwelling that is zoned R-1 or R-2 shall obtain written approval from the landlord prior to keeping or maintaining of chickens on the rental premise. The landlord’s written must accompany the applicant’s permit application.
- Educational facilities may keep chickens for educational purposes only.
- Chickens are not allowed to be kept or maintained upon the following:
 - Mobile home parks
 - Vacant lots unless the person requesting the permit resides on the abutting property
 - Any property not zoned 1 or 2 family
 - Condominiums
- A coop and any attached enclosure shall be located in the backyard of the permit holder's residence and shall meet all applicable setback requirements for accessory buildings as set forth in the Municipal Code. A drawing of the coop and any attached enclosure and their locations shall be submitted with the permit application. A separate building permit shall be required for any new coop and enclosures.
- A coop and any attached enclosure shall not be closer than 25 feet to a residential dwelling on adjacent lot.
- All chickens shall be kept and maintained within a ventilated and roofed coop in compliance with any applicable state and local requirements.
- All coops, including an attached coop enclosure, shall be enclosed with wire netting or equivalent material that will prevent chickens from escaping the coop or the attached enclosure. The ability to utilize wire netting or equivalent materials shall only be for the limited purpose of the coop and coop enclosure; wire netting is not to be used as a boundary fence. All other fencing must adhere to the fencing regulations found elsewhere within the Municipal Code.

- The coop structural floor shall allow at least 4 square feet per chicken, and the height of the coop shall not exceed 6 feet above ground level.
- The coop shall have a clear open space to allow the chickens to walk on the ground or a concrete slab.
- Further Chicken Regulations:
 - Shall keep or maintain chickens within a coop or attached coop enclosure at all times.
 - Shall not keep or maintain any roosters.
 - Shall not sell any eggs.
 - Shall not slaughter any chickens on the premises.
 - Shall ensure that chickens are provided with access to feed and clean water at all times.
 - Shall consult with a veterinarian regarding chickens that appear ill, or on the occasion of a sudden death. If a disease that would be contagious to humans is diagnosed, recommendations to insure prevention or transmission of a disease must be followed as recommended by the veterinarian
- Sanitation Requirements:
 - Chickens and their coops shall be kept and maintained at all times in outdoor areas and shall not be permitted inside a residential premise or dwelling, except as provided (in Code).
 - Chicken feed shall be stored and kept in containers, which make the feed inaccessible to rodents, vermin, wild birds, and other predators.
 - All coops and backyards where chickens are kept or maintained shall be reasonably free from chicken manure and other substances, such that the air or environment around the chickens does not become noxious or offensive or create a condition that would reasonable promote the breeding of flies, mosquitoes, or other insects, or provide a habitat, breeding or feeding place for rodents or other animals, or otherwise be injurious to public health.
 - Inspection: The City shall have the power, whenever it may deem reasonably necessary, to enter a building, structure, or property where chickens are kept to ascertain whether the keeper is in in compliance with this ordinance. The police department and the planning department may issue compliance orders and citations pursuant to the provisions of this section, and state law.
 - Enforcement: City may revoke a permit in the event that there have been 3 or more violations of this ordinance within any 6-month period, or 4 or more in any 12-month period.

Eau Claire – There is a license fee of \$60 and a pre-inspection fee of \$95. It appears that it is an annual fee. Applicants must submit the Wisconsin DATCP registration number, submit a plan/diagram, and contact the Eau Claire City/County Health Department for inspection. They created a brochure for the ordinance.

Requirements –

- The City shall provide written notification to all owners of real estate within 100' of the applicant's property. Owners of abutting property to that of the applicant may object in writing to the issuance or the renewal of a license within 14 days of notification issuance. If an objection is received, the license shall be presented to the city council for consideration.
- Applicants shall certify that the poultry and poultry products are primarily for personal non-commercial use. No commercial sales from the residence or any residential area within the city is permitted.
- An inspection of the completed coop shall be completed by the Health Department or city staff prior to license issuance and thereafter of the coop and any poultry prior to license renewal or upon credible complaint or as determined necessary.
- Poultry shall only be kept and maintained on a lot zoned R-1 and used as a single-family dwelling, except that poultry may be kept on a lot zoned R-2 and used as a multi-family dwelling if the applicant meets certain requirements.
- Poultry shall not be kept or maintained upon a vacant lot or inside a residential structure, including basements, porches, garages, shed, or similar storage structure.
- Applicants can keep up to 5 poultry on their residential property. Roosters or drakes are not allowed.
- Poultry must be kept in a coop or attached run/enclosure at all times (free roaming is not allowed).
- Coop any attached run/enclosure must be located in the back or side yard of the license holder's property and must be:
 - 10 feet from any property line
 - 25 feet from residential structure on adjacent lot
 - 5 feet from any structure on your own property
 - Minimum of 2 feet from all lot lines (street, alley)
- Coops should be a stand-alone structure used only for poultry and following city building and zoning ordinances.
- Poultry coops must be built with moisture resistant materials and include:
 - Proper ventilation
 - Insulation
 - Roof
 - Hard, cleanable floor foundation and footings (e.g. concrete, wood, linoleum, or hard plastic) (**Dirt floor is not acceptable**)
 - Wire netting that covers the run/enclosure to prevent poultry from escaping and deters predators.
 - A minimum of 3 square feet per bird
 - Coop height of 8 feet or less
 - Coop floor area shall not exceed 64 square feet
- Coops must be kept clean, tidy, and not cause a noise, odor, or health nuisance to the property or neighbors.

- Poultry that become ill shall receive veterinary care on-site or at a veterinary office. Poultry ill with an infectious disease capable of being transmitted from bird to bird or from birds to humans, including but not limited to, salmonella, avian influenza, are prohibited and shall be immediately euthanized by a veterinarian or immediately removed from the city and humanely killed outside of the city. Any person keeping poultry shall immediately report any unusual illness or death of poultry to the Health Department.
- Poultry feed must be stored to prevent access by pests and birds.
- All waste, including manure must be disposed of in a safe and adequate manner that doesn't create a public nuisance (composting is acceptable). There are restrictions on the location of the compost areas.
- The slaughtering of any permitted poultry may be conducted on the property if conducted in a humane and sanitary manner, outside of the view of any public area or adjacent property. A maximum of 5 total poultry may be slaughtered on the property in a license year.
- Commercial sale of eggs is **NOT** allowed (unless you receive a retail license through Health Department).
- The eggs can be used for personal use and as a gift for family, friends, neighbors etc..



City of MARSHFIELD MEMORANDUM

TO: Plan Commission
FROM: Tom Loucks, Communications Director
DATE: May 11, 2023
Re: Chicken Ordinance analytics

At the last Plan Commission meeting on April 18, 2023, City Administrator Steve Barg and the Commission asked City staff to actively publicize a proposed backyard chicken ordinance to get the public's feedback.

Barg contacted Communications Director Tom Loucks to get publicity about a possible proposed backyard chicken ordinance on the City's various communication platforms. One of those platforms recently administered by Loucks to engage residents on backyard chickens was using Public Input, which engages City residents on projects such as this. The response from the public was well-received.

Below is information compiled from the survey to help you make an informed decision from the public's viewpoints on the proposed ordinance.

As of Friday, May 12, 2023, the survey received 3,135 responses with 950 participants, generating 297 comments.

The traffic resources to learn about the survey are as follows:

Referral Traffic Sources

Count	Domain
403	m.facebook.com
314	lm.facebook.com
159	ci.marshfield.wi.us
130	www.wsaw.com
121	www.onfocus.news
83	www.waow.com
51	com.google.android.googlequicksearchbox
50	www.google.com
49	l.facebook.com
42	www.ci.marshfield.wi.us
1,402	Total

Please see the dynamic report here:
<https://publicinput.com/Report/fwteqcyn04m>

Backyard Chicken Ordinance Survey

Project Engagement

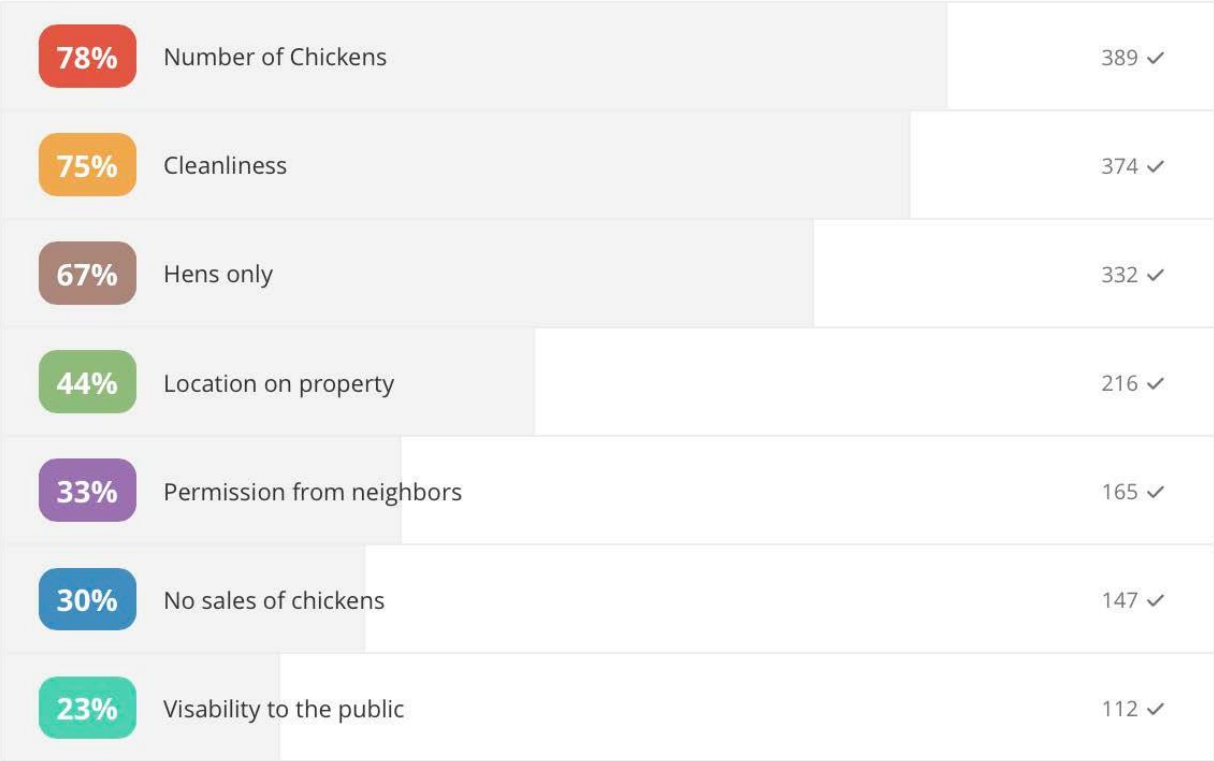
VIEWS	PARTICIPANTS	RESPONSES	COMMENTS
1,857	950	3,135	297

I am interested in housing chickens on my property.



881 Respondents

If permit guidelines are created to allow housing backyard chickens, what considerations do you think are important to include?

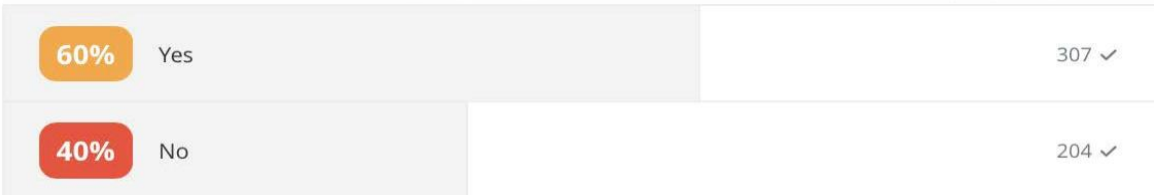


496 Respondents

The City of Marshfield should allow residents to obtain a permit to house backyard chickens within a chicken coop within the city limits.

No data to display...

I am comfortable having my neighbors house chickens on their property.



511 Respondents

-----Original Message-----

From:

Sent: Friday, May 12, 2023 7:29 AM

To: Barg, Steve <Steve.Barg@ci.marshfield.wi.us>

Subject: Chickens

Chickens and ducks are beneficial pest control especially for the Japanese beetle problem we have. They eat table scraps this keeps less stuff being sent to the trash and instead being recycled, their manure is beneficial for gardens. My son has a chicken allergy so we have to find duck eggs which are hard to find sometimes. Having chickens and ducks are at least a constant protein food source that's healthy for us all. I highly implore you to add chickens and ducks. I had to get rid of mine after 2 years because we we're suddenly reported to ordinance officers I thought we lived on the outskirts. I'm disappointed and sad to loose them. The ordinance laws are hard to understand I thought we weren't city limits. No one knew they were there because they were healthy and happy so they kept quiet. A disagreement with a neighbor led to them reporting it. Even the ordinance officer had to walk around on the property because he passed it twice due to not hearing them. So I implore you please approve chickens a group of 6 feed a family of 4 on avg. and please look into approving ducks there are certain types that don't need ponds if that is the worry.

Sent from my iPhone

-----Original Message-----

From:

Sent: Friday, May 12, 2023 7:21 AM

To: Barg, Steve <Steve.Barg@ci.marshfield.wi.us>

Subject: Backyard chickens

Dear sir, im writing in regards to allowing chickens in marshfield. I hope the city allows them. There are many metropolitan areas that allow chickens. Milw, and Madison, included. We have lived in small towns our whole lives and have always had chickens. Princeton , Berlin, portage, waupaca, Wautoma, even Stevenspoint. I dont understand what the opposition is. Chickens are quiet, gentle, and produce food for you. I have an autoimmune and need to eat whole clean foods. Pastured organic eggs are \$9 a dz. I can get organic feed at Prince feed store for \$10 a bag. That would save us a lot of money since 4 chickens take 2 to 3 wks to eat a bag and could produce 3 to 4 eggs a day. Thats a dz eggs in 1 wk and 2 to 3 dz for the \$10 bag of feed. Chicken owners treat there chickens like pets. Income would be generated in town. Chicken owners need feed, bedding, feeders, waterers, and a coop . We talked to A clerk at Prince feed yesterday and she was excited to hear the rules might be changed. She also wants chickens.

She knew her sales would go up for feed and supplies too. When we lived in Wautoma we were allowed 4 chickens. We did not have any fox, or rats in our yard , that simply is not true. If you live in the country with chickens , that is were the rats and fox are. Our neighbors were not aware we had chickens until we told them. No noise or smell. Thank you for taking the time to read my Email.

Hi Steve , I would love to have the opportunity to harbor chickens in the city limits.

Of course with no roosters, they are to noisy and more to handle, hens on the other hand are very quiet and gentle. And 4 is a perfect amount for eggs for a family. And as long as people build a sturdy structure with a connected run to house they should be safe and not wander off . And I am shure you will have rules on the waste , it does make great compost with no smell if done properly.

Hello!

I just wanted to send a quick email to say that I would be in favor of_ people being able to have up to 4 chickens on a single-family lot. We lived in the Boston area for 18 years and had friends in densely populated areas who owned chickens. For those who have the interest, it's a pretty great thing.

m:
m:
St.,It
To:
Subject:

Robert Haws [REDACTED]
Saturday, May 6, 2023 2:51 PM
Barg, Steve
Marshfield Chicken Ordinance Revision

Dear Steve,

My wife and I are long-term residents of Marshfield. In 2020 we bought 5 acres in city limits. We were very disappointed when we learned that we could not raise some chickens on our property. We understand that limits need to be in place, but it is unreasonable that chickens should be completely forbidden inside city limits. We request that the city ordinances regarding chickens be changed.

Respectfully,

Bob and Kellie Haws

Barg, Steve

From: Paul Fassler [REDACTED]
Sent: Friday, May 5, 2023 8:57 PM
To: Barg, Steve
Subject: Chickens in backyard

Steve,

I am a City of Marshfield resident homeowner who does not want residents to keep chickens on their property.

Thank you,
Paul Fassler

Barg, Steve

From: Ward Blvd [REDACTED]
Sent: Friday, May 5, 2023 6:22 PM
To: Barg, Steve
Subject: Chickens in Marshfield

Sent from Mail for Windows Do yourself a favor and say the chickens cannot be roosters. That early morning cock-a-doodling magnified tens of times will cause problems. Besides, hens do not need roosters to lay eggs, only to hatch out chicks.

Barg, Steve

From: Margaret Bartelt [REDACTED]
Sent: Thursday, May 11, 2023 6:48 AM
To: Barg, Steve
Subject: Chicken ordinance

I SUPPORT the proposed ordinance allowing up to 4 chickens on a single family lot. Roosters should NOT be allowed.

Margaret Bartelt
1612 Renee Ln
marshfield.wi.54449

Barg, Steve

From: Barg, Steve
Sent: Thursday, May 11, 2023 9:53 AM
To: Barg, Steve
Subject: FW: Backyard Chicken Ordinance

From: d.dittz1@yahoo.com [REDACTED]
Sent: Wednesday, May 10, 2023 5:09 PM
To: Barg, Steve <Steve.Barg@ci.marshfield.wi.us>
Subject: Backyard Chicken Ordinance

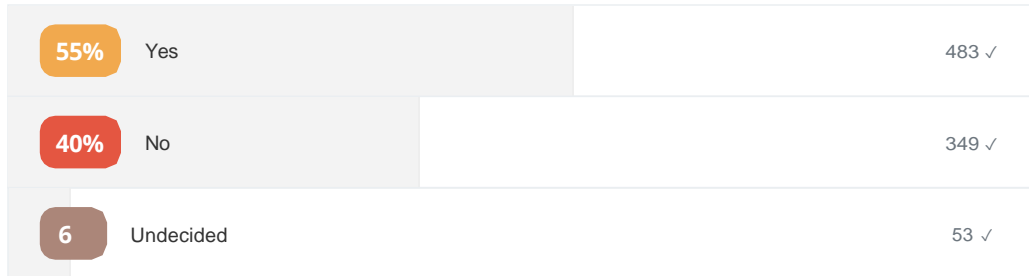
I believe that allowing the ordinance would keep persons whom I've heard through word of mouth from keeping them in their basements.

Backyard Chicken Ordinance Survey

Project Engagement

VIEWS	PARTICIPANTS	RESPONSES	COMMENTS
1,857	950	3,135	297

I am interested in housing chickens on my property.



881 Respondents

Very interested in having chickens. They eat Japanese Beetles, which are becoming a huge problem. Chickens are quiet (roosters are the loud ones) and clean when given the proper housing. We have two Ordinance Officers (with time, if call volume numbers are an indication) in the City to monitor any problems. We also have resources like The Country Store in town to assist with questions. Many cities of Marshfield's size have implemented chickens to great success. The environmental benefits alone are enormous.

6 days ago

This absolutely should be allowed!

7 days ago

A great opportunity to have fresh eggs!

7 days ago

Yes ! With a limit . Looks like a number of people need an education on Chickens.

6 days ago

It is inappropriate to have chickens or any farm animal within the city limits.

7 days ago

Have you seen egg prices? They're less of a nuisance than small yappy dogs.

6 days ago

Why is it "inappropriate"? Because you dont want them? Wow

5 days ago

I grew up in the country with several chickens. They were my favorite pet on our hobby farm. Having the convenience of living in town vs being able to have a few chickens was a huge battle for me. Having animals can teach families so much about self sustainability, empathy and care, and building communities. Chickens don't require a ton of space and help with pest/insect control, help with food waste, and teach children about the responsibilities of caring for an animal. I would be a happier community member if they passed something allowing just a few chickens with some regulations to make hesitant community members feel good about the decision.

6 days ago

Chickens are not dangerous like dogs are. Chickens have never killed anyone. Dogs are on record of killing some one every day in this country. Ban dogs, allow chickens. Chickens do not stink. The poop is great for gardens. Roosters do not yap incessantly like dogs do.

6 days ago

They should not be allowed in town.

7 days ago

Whiting allows laying hens but no roosters. Its a win for you if you want eggs and a compromise for your neighbors that dont want a loud rooster next door.

7 days ago

The smell of chickens will not be good for the neighboring property owners that don't have chickens. I believe if people want chickens they need to live outside the city. There are township that don't even allow chickens. Marshfield already have ordinances that are not enforced. Like junk around peoples homes, unlicensed vehicles that are not enforced. Police are already picking up dogs and cat that are at large. Now chickens?

7 days ago

Pleasd do not allow them.

7 days ago

Chickens and livestock belong in the country

7 days ago

Please don't allow this. Causes too many problems, noise, mess, salmonella?

7 days ago

Ahahaha wow quite being such a Karen you're not eating the raw chicken to get salmonella poisoning and it's a mess I. Your ow yard that you should be cleaning anyways...only problems it cause are those too lazy to take care of there chickens in that case they shouldn't be allowed to have them

6 days ago

Citizens need to be able to fend for themselves . Less government over reach is need.

7 days ago

Stop. I do not want Chickens in Marshfield. I deal with barking dogs all day long and junk in neighbors yards, now you want to add another animal sound and smell. People don't pick up after their dogs on walks already and no one in the city can enforce this type of behavior so who is going to enforce the Chicken issues when they arise.

5 days ago

Absolutely NO!

5 days ago

I grew up on a farm and moved into the city not to have noises and smells farm animals make. Does anyone know how Chickens smell when wet I do! Their waste draws rodents such as mice and rats because of the way they digest their food and their presence will draw predators like fox and mink. Our Animal control have enough to do with just dogs and cats because people can't control them. Go just South of Marshfield on the west side of Washington Ave. and 29th St. and I have almost hit Chickens running out on the road because the owners are irresponsible letting them drop fertilizer everywhere including their neighbors yards!

6 days ago

I don't want to listen to my neighbor's chickens kackelling ! My neighborhood is nice and quiet.

6 days ago

We raised backyard chickens when we lived in the cities of Madison and Nashville. Many of our neighbors had chickens as well. It was a great experience.

6 days ago

Should absolutely not be allowed! We live too close together to have chickens. I am afraid of birds. Been attacked by plenty. I definitely don't need them for neighbors and roaming all over my yard. I see how the people on Washington Avenue just south of 29th Ave let there chickens roam. We don't need that. Chickens are nasty. Pooping every where!

6 days ago

Pooping everywhere? Should we outlaw geese, ducks, and all the other wild birds in town for doing the same? That is a weak argument.

6 days ago

I would love to have chickens in my backyard

6 days ago

Great idea! The limit should be higher than 4

6 days ago

I agree to chickens, but not regular roosters (noisy). And not wandering unless I'm a fenced in yard. Would be nice to enforce the owner to have a fenced in yard so they can roam within a larger area than just a coop and not bother neighbors. They might help with Japanese beetles, too.

6 days ago

Would help reduce grocery costs

7 days ago

I cant because I rent, but I always wanted them. People should allow them

7 days ago

This was allowed a number of years ago, and then it was rescinded. Now it's back. It's too hard to regulate. My neighbor had chickens running around the yard and a rooster that was very noisy.

7 days ago

No

7 days ago

NO CHICKENS--move to country

22 hours ago

not interested in backyard chickens--move to the country

22 hours ago

I live in the city for a reason. if you want chickens move to the country.

22 hours ago

Barking dogs are far worst than chickens. Chickens eat the Japanese beetles. Leave people alone we do not need more laws.

4 days ago

Please let farming to the farmers. If starting with chick's, it takes 18-22 weeks with proper nutrients and adequate daylight before any eggs are produced. The cost of feed exceeds the cost of eggs. Where is all the chicken manure going? Will they be butchered when winter comes? Do the neighbors kids want to witness that? Chickens carry disease. How will you dispose of dead poultry? There is so much more to raising chickens than having a cute chicken house and putting eggs in a basket.

5 days ago

some people don't have a clue on how to take care of their dogs and cats, how are they going to take care of chickens? the cost of feeding and caring for them far exceeds any small amount of eggs you may get from them. the best chicken is a deep fried chicken, not a pet.

5 days ago

Absolutely NOT. This city already looks like a landfill thanks to all the low-income slumlord houses nobody can be bothered to do anything about. Now we want chickens scratching and crowing in back yards? If I wanted my friends to think I'm a hillbilly I'd already be planting corn and voting Republican like half the racists around Marshfield. I don't need farm animals running around my neighborhood IN THE CITY.

6 days ago

Chickens are easy to care for, and in generations past, it was seen as "doing your part" for sustainability, community and your family to raise backyard chickens - even in town. A few hens don't make much noise and don't smell, they are less offensive than most dogs (and we have a dog, we love her, but as a family who has had chickens in the past, this is a most basic idea that should be allowed). They make excellent pets, too! Vote for freedom, please allow chickens. Thank you.

6 days ago

Chickens with their feed will encourage rodents.. Those who want farm animals need to move to the country.

6 days ago

they should buy a farm then

6 days ago

Absolutely an awful idea. Please don't make another rash unthought out decision that negatively affects living in this city.

6 days ago

We have had chickens in every town we have lived in. They are wonderful pets and gave us fresh eggs daily. I do not understand why there is any opposition. Our chickens were very quiet and we were able to use the bedding in our compost to fertilize our gardens. I hope the people in charge will realize how this would benefit the community. Thank you

6 days ago

Not sure how having chickens in the cities will benefit the community but would benefit the person having the chickens. It is probably another cost that will be adding to the city taxpayers when they have to hire another ordinance officer, because they don't get the ordinances enforced now.

5 days ago

I live in the city because I do want to have barnyard animals as my neighbors!

6 days ago

We should definitely consider this at a high level. Chickens have many benefits from eating pests to providing nutrition. I know that our family would be interested in the idea to save money and get a better more nutritious food source.

6 days ago

Chickens and any other farm animals, are just that farm animals. Which means they belong on a farm. There are no proven benefits of farm animals raised and housed within a city. Don't open a can of worms that can't be reversed due to disease and other issues!! Absolutely against this!

6 days ago

There is a difference when raising chickens, or any animal, on a farm or for commercial purposes. A handful of hens causes no harm to anyone, are beneficial to the garden, eat many pests like ticks and Japanese beetles, are not noisy and when we raised chickens for years (prior to now) we never had a rodent problem. If you care for them like any other pet, chickens are even easier than most, most neighbors would hardly know they exist. It's not mandating that you keep chickens, just allowing others the opportunity.

6 days ago

We have had cats come and spray in our yard. Chickens do not spray or disrupt neighbors.

6 days ago

All sounds wonderful until you lived next to a family that raised domesticated ducks. Same as chickens. Our neighborhood experienced Nady order when it was very humid and hot with winds that come from any direction. Lets also discuss the rodents (Rats)that you will have running in the yard, coop etc. They do leave a stench to your yard, you will have hay ir straw that will need to be cleaned out on a regular daily schedule, and properly thrown out. It's not all fun and cute. It's a huge mess if not properly taken care of and will smell in any weather. Look at the history of complaints just for these ducks that were allowed to be housed. It's all on record. Feel free to reach out to me and my surrounding neighbors who lived in it on Marshfield. My husband and I were both raised on a farm, so we experienced that life. Chickens belong out in the country where they can have more space to live and run freely. If anyone in my neighborhood would ask for permission, it will be a hard NO from everyone in this neighborhood.

6 days ago

We raised chickens and never had any nasty oder or rodents. It all comes down to responsibility. You can have a neighbor with a wood pile or clutter in there yard, that will bring rodents

6 days ago

Chickens eat bugs including ticks and mosquitoes. They also love to eat mice.

6 days ago

Farm animals belong in the country, not in town. Houses are close together in town which affects the noise level and smell, compared to the country.

6 days ago

Backyard birds can be pretty noisy too, perhaps bird feeders should require a permit? In my experience, many hens are about the same noise level as blue jays or crows...sometimes less so.

6 days ago

Cats are barn animals. It all comes down to pet preference.

6 days ago

Chickens should NOT be allowed in city limits for any reason.

6 days ago

I dont understand why you say that. People have birds , cats dogs, snakes, lizards and so on. Why are chickens so disgusting to you?

6 days ago

Should absolutely NOT be allowed in city limits for any reason.

6 days ago

For what reason other than your a whiney

5 days ago

People deserve the ability to product healthy, local food. Chickens are good for yards and fine cause nearly the disruption people think they do.

6 days ago

Um, next it will be cows,pigs and goats. Ridiculous!

6 days ago

Bad enough to listen to neighbors dogs barking 24/7, I don't want to hear chickens or have them wander into my yard

7 days ago

No

7 days ago

No, if I would have wanted to deal with chickens, I would have lived in the country

yesterday

Our neighbors currently have approximately 20 birds chickens and ducks in a coop and enclosure far too small. It stinks so bad I can't even sit in my back yard. They have wet hay bails and empty feed pellet bags laying around and now they have rats. I told them 2 weeks ago they needed to clean thing up to get rid of the rats and they have done nothing. Tomorrow I am contacting the city ordinance. I'm all for raising your own food, but not like this.

2 days ago

No chickens in the city, if you want them then move out of town.

2 days ago

No chickens! If you want them move out of the city

2 days ago

No chickens or I would move out of town

2 days ago

This is just another way of inviting wild life into the city. People are not rule followers for the most part anyway. The deer and the occasional bear are enough. The raccoon and skunks the eggs will attract are not something I want to deal with. If you want chickens move to the outskirts of town were you can already have these kinds of animals. Not to mention the diseases that raccoons, skunks and other animals carry. This is a mistake!

3 days ago

NO

3 days ago

Who is going to monitor all this? We are told the police are already stretched thin. What if stray dogs attack the chickens? What if they aren't cleaned up after? Or noise complaints? I wish I could support this but there are opportunities to get fresh eggs around here and I don't trust the general public to be responsible or courteous of their neighbors with chickens in the mix.

3 days ago

Our city has gone through this a few years ago. My comment then and now is NO CHICKENS in Marshfield.

4 days ago

Do not allow!! Lower my taxes, don't increase the ways neighbors can have unkept properties and more difficult

5 days ago

They gonna lower your taxes? That sounds like a win win. Who wants to pay more taxes on things that we are taught only need to be taxed at the time of initial purchase. Backyard chickens in town can get some pretty fancy living quarters and an enclosed run.

Next you'll say having a garden will lower your property taxes.

Enjoy eating those old eggs at the store that are a few months old. I like mine fresh.

4 days ago

If you allow chickens in town, I'm gonna get and keep some sheep to mow my lawn. Also have you seen the price of wool sweaters and lamb chops? I should be able to save money and have a fun hobby, too.

5 days ago

This will cause more trouble than its worth, if it passes I will get a cow, based on the precedent set. Farm animals belong in the country. If you need eggs we got kwik trips everywhere.

5 days ago

Cows need far more room and make more noise than a small handful of hens.

5 days ago

Absolutely not!!!!

6 days ago

I think that residents should be as allowed to keep chickens within reasonable limits. The ability to produce your own eggs would be a great benefit.

6 days ago

Who should we call when problems with chickens and rodents that will come to feed

6 days ago

Very interested in having chickens in our backyard!!

6 days ago

Salmonella outbreak

6 days ago

Salmonella outbreaks

6 days ago

I got 50 chickens, I don't see an outbreak of salmonella, bird flu, or nothing. Just a bunch of chickens laying me eggs and growing up as well. These become a food source. I get eggs, when chickens ate older, butcher off and you have yourself a very tasty meal.

4 days ago

Your home town??

5 days ago

Yes we should be allowed to have chickens within city limits. Hens only, 6 max, chicken coop in fenced in areas, no chicken tax.

6 days ago

This should absolutely be allowed

6 days ago

Chickens would be a great addition if taken care of and housed properly. With prices of everything going up, it'd be nice to have the option to have your own chickens. No roosters. And have a limit on how many people can have, and enforce the limit, in an enclosed space so they aren't roaming the streets.

6 days ago

This is a very complex issue that goes beyond "yes" or "no." It will fall on local ordinance officers to ensure proper care and husbandry of the chickens, as they do with dogs and cats. Will the city need more staff for this? What happens when your box of chicks accidentally contains a male, what are the resources available for rehoming them if they are not allowed? If animals are seized due to poor living conditions, what facility is equipped to provide housing and vet care for them? Is there adequate large animal veterinary care available for folks living in the city? Most small animal veterinarians do not provide care for chickens. All of this should be considered before moving forward.

6 days ago

Same issues with dogs and cats. But yet we have the choice to have them. I dont understand why no one cares if someone has a bird poeing in the house,

6 days ago

I would probably be if I owned my own home but I live in an apartment complex.

6 days ago

This would be great! So many people would benefit from this being allowed.

6 days ago

I think no Roosters, just female chickens.

6 days ago

I 100% would like to have chickens. They keep bugs down, are quiet, make great pets, and help out with the grocery bill with their eggs.

6 days ago

Should allow

6 days ago

There has to be a limit. Like with dogs and cats. Also, need to follow a noise ordinance

6 days ago

I think people should be allowed to have chickens as long as they keep them in the yard

6 days ago

Others cities allow a certain number of hens but not roosters. For example, my sister lives In Stevens Point city limits. She has had 4 hens without issue for years. It is more common than people may think.

6 days ago

I support this idea and even agree with some guidelines regarding size/type of co-op and amounts allowed. Cleanliness requirements. I think this is a great idea!

6 days ago

This would be a great move for the community.

6 days ago

I love the idea of families being able to raise chickens! Please allow this.

6 days ago

Yesss please!

6 days ago

If I owned instead of renting, I would definitely want to own chickens!

6 days ago

I see nothing wrong with allowing chickens in town. Even a rooster is quieter than some of the dogs around town.

6 days ago

I am an advocate for this to happen but you need to figure out what you will do with chickens that need to be removed from properties due to non compliance, health, or cleanliness issues.

6 days ago

Butcher them and give the meat to the food pantries

5 days ago

I am concerned about the allowing of chickens regarding the waste product they produce. How will this be taken care of in a manner that does not attract unwanted vermin.

6 days ago

Would they have to be fenced in? Small yards wouldn't allow for distance from neighbors to eliminate smell and noise. Alit of yards have junk laying around and now you add chickens, Marshfield will turn into a trash town.

6 days ago

How many complaints does the city have now for dogs tied up be in backyards unattended? Chickens need daily care, not to mention a rooster crowing at 5 am and all day. You get baby chicks to start with, thinking they are all egg layers, but you may get 2 out of 3 roosters, which usually are mean and dangerous!

7 days ago

It's my understanding that most municipalities allow chickens, not roosters. Roosters aren't necessary for egg laying.

6 days ago

I want to have 3 backyard size chickens and my neighbors & I want to eat the eggs.

7 days ago

I bought property in the city to get away from barnyard animals.

10 minutes ago

Bad idea. It will cause issues with people who don't take care of them. We see this with dogs and cats already. I wouldn't want chickens next door to me.

45 minutes ago

We are looking to buy a house in the city and it would be great to have chickens to help save on food cost.

yesterday

Please include ducks, they are beneficial at pest control and my kids have chicken egg allergies.

2 days ago

We should allow chickens.

2 days ago

There are lots of excellent comments on here. It's worth noting that communities nationwide have successfully implemented municipal ordinances that allow for chickens. There are rules and regulations, it is not a 'free for all'. As consistently mentioned, chickens are wonderful for organic pest control. With skyrocketing food prices and food insecurities, it would be wonderful to have fresh eggs (did you know that eggs are known as 'The Perfect Protein'?).

I'm also noticing a lot of comments regarding neighbor concern. This is a chance to open up dialogue with your neighbors and be neighborly. This is the experience I have in my neighborhood. It's okay to have productive civil conversations versus complaining behind closed doors.

Finally, I think most people do follow the rules, but being good just doesn't make the news.

3 days ago

They won't be any more annoying than the loud mufflers that aren't enforced. Also, there should be a fine if you run over a chicken like there is in Key West, FL if this passes.

3 days ago

No roosters allowed. But chickens are nice and quiet. They help control insects organically. They are FAR LESS annoying than barking dogs. Financial help for city residents to produce their own eggs.

3 days ago

Very much so in favor of this however i think it would be wise to have to register if you have them. And have set amounts.

3 days ago

please! please! please! please! pleasepleasepleasepleaseplease

3 days ago

Its about time! When can we start?

3 days ago

Fun chicken fact:

If everyone in the town of marshfield got 4 chickens, you could reduce the amount of food waste from your house going to the garbage dump.

Feed your food waste to chickens. Lower your carbon footprint. I currently have 50 chickens in my yard.

4 days ago

I think 6 chickens should be allowed. How many eggs do chickens lay? Depends on the breed. Some lay 2-3/week others can lay 4-5/week, and the prolific layers do 5-7.

How many days worth of eggs would you need to save to make breakfast for a family of 5 with 2 eggs per person. With 4 chickens? 3 days is the answer.

4 days ago

We can't even control dog's pooping on our lawns. There is an ordiance regarding this.. Also, would you like to be the person taking all the calls that chickens are on neighbors property. I think our ordinance officers have enuf to do. NO CHICKENS IN THE CITY!!!

4 days ago

I cannot have them because I live in an apartment complex but I would have them in a heartbeat if I could.

4 days ago

Absolutely, I've lived in other municipalities that allowed chickens and never experienced a negative. Only positives.

5 days ago

Do NOT allow chicken, try focusing on getting people to keep there property clean firstgive these dirty people chickens too now.. lower my taxes this town is messed up

5 days ago

.

5 days ago

I am not in favor of chickens in the city.
At the least, residents wanting chickens should be required to acquire signatures from neighboring residents.

6 days ago

My neighbor was not required to get my permission for their barking dog and unfixed cats which are left to peruse the neighborhood and do what they wish. Leaving their dedication for me to clean.

5 days ago

This is absolutely our right WITHOUT the city gouging more out of us this should be ZERO permit right!!!
Look at your tax bill people they steal from us ENOUGH!!

6 days ago

Maybe considering moving to Arpin or Vesper?

5 days ago

What the heck kind of survey is this? 1. One question that only asks if "I" am interested raising chickens?
No I'm not but I'm not against others, writing the confines of the ordinances.
2. You can see how others respond AND change your answer after being possibly being persuaded by
others answers?!?!?!?

Get serious!!!!!!

6 days ago

Absolutley not.. A neighbor of our had them.. it was crazy.. Loose all the time, in our garage, yard. Then
there was the roosters!!

6 days ago

There is quite a long list of wild predators that like chickens;Pet owners may object.Health dept.
objections (human/bird contagious sicknesses).Well cared for animals stay healthier.

6 days ago

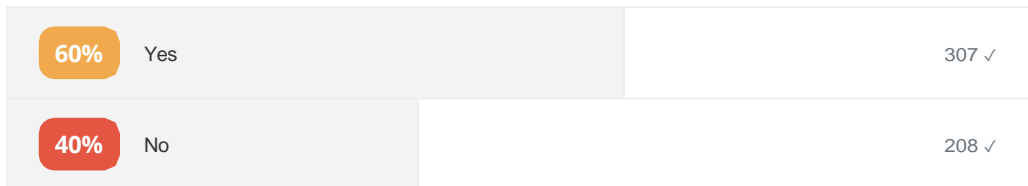
Hello - as a resident of Seattle, WA for 20 years (we moved back to WI in 2017), I saw the evolution of
backyard chickens take hold. A few things that stand out and became an issue are racoons and rats. As
any city dweller knows, when rats settle in, it takes several \$1000s of dollars and extreme vigilance in
eradicating rats from a property. That said, unless owners adequately secure their chickens, and
chicken feed, this will become a problem. Thought I would share my opinion and suggest doing
research on other cities of similar size to Marshfield and the pros/cons of backyard chickens.

7 days ago

The City of Marshfield should allow residents to obtain a permit to house backyard
chickens within a chicken coop within the city limits.

No data to display...

I am comfortable having my neighbors house chickens on their property.



515 Respondents

I do not want to go out and see and smell barnyard animals. What's next? A cow in my neighborhood.
Where does it stop?

8 minutes ago

Definitely NO

24 minutes ago

NO CHICKENS. Are we trying to start the next pandemic?

16 hours ago

NO CHICKENS !!!!!

22 hours ago

no chickens in city limits--move to country

22 hours ago

no chickens in city limits

22 hours ago

Actually not sure, it would depend how well they take care of the chickens and keeping the area clean.

yesterday

You can't depend on people taking care of the problems their chicken will produce for others. Where are all these people going to dispose of the animal droppings and refuse. This is a mistake in the making.

3 days ago

Food security is best when you can get your food local and the best way to do that is by having food security right in your back yard... This is the best idea ever.

3 days ago

ABSOLUTELY NOT. You think your neighbor dogs drive you crazy now, just wait till they hear and/or see the chickens. There is no quiet day or night. I witnessed this in another city.

4 days ago

Absolutely, hens are quiet and easy to keep happy as yard birds. I would love if a neighbor has chickens especially if they shared the eggs!

5 days ago

This is not the case of rewarding a messy child with a pet for cleaning their room. Adults who already do not put in the effort to clean up dog poop or rake their leaves will not take the extra time required to care of farm animals.

5 days ago

Absolutely not!!!!

6 days ago

Ordinance officers are already visitor to our neighbor's home. God forbid she's permitted chickens too.

6 days ago

Absolutely NO chickens in city . people do not follow rules for firepits and some do not keep there yards mowed....

6 days ago

Salmonella

6 days ago

I could care less if my neighbors had chickens in their back yard.

6 days ago

I would love to see chickens all over Marshfield. They are much less of a hazard than ticks, fleas, beetles etc.

4 days ago

As long as they are caged at all times, it's fine yo have chickens, not roosters.

6 days ago

Marshfield, are you a city or farmland? If we wanted noise and smell, we would live in the country and not pay your taxes to live in town! NO CHICKENS PLEASE!!

6 days ago

Chickens are neither noisy or smelly. Roosters are loud but they are not allowing roosters. Chickens have been in city yards all over the country. People should be allowed to grow there own food.

6 days ago

Im extremely comfortable with my neighbors having chickens.

6 days ago

Don't want the noise

6 days ago

Hens are quiet

4 days ago

I would love have chickens around. I would use any extra eggs and the would produce some fertilizer for the garden.

6 days ago

Chickens do not smell in a backyard setting. Check out backyardchickencoops.com.au/blogs/learning-centre/do-chickens-smell-unscrambling-the-myth.

6 days ago

I do not want chickens roaming on my property. Birds are dirty and leave their droppings everywhere. The smell is horrendous.

6 days ago

I would love my neighbors to have chickens for several reasons; they are a great source of fresh food, they are educational for children, help control pests, and can help bring a sense of community. As long as they are fenced and no roosters, I see no problem with this!

6 days ago

I am concerned about the smell. How will the waste the chickens produce be handled so that it does not attract vermin.

6 days ago

I do not want to live near people who have chickens. If you want chickens move to the country!

7 days ago

I think people should be allowed to have chickens in the same manner as dogs or cats in city, with reasonable limits in numbers and types.

7 days ago

People don't even pick up dog poop.

7 days ago

I'm only worried for those neighbors who are not very responsible and clean. Chickens stink. People can't even pick up after their own dogs let alone keep a chicken area organized. I just hope the city will be on it if we have this.

7 days ago

If they're not responsible, they're likely not getting chickens, they're a lot of work.

6 days ago

Sure

7 days ago

No

7 days ago

If permit guidelines are created to allow housing backyard chickens, what considerations do you think are important to include?

78%	Number of Chickens	389 ✓
75%	Cleanliness	374 ✓
67%	Hens only	332 ✓
44%	Location on property	216 ✓
33%	Permission from neighbors	165 ✓
30%	No sales of chickens	147 ✓
23%	Visibility to the public	112 ✓

496 Respondents

So the people that want chickens for the free eggs, do they think keeping chickens is free? You have to buy them, house them, feed them, vs paying for eggs.

10 hours ago

Yes let people control themselves.
We need food sources other than big box stores.

20 hours ago

If permission is granted by an ordinance, then the location should be within 3' from the house and centered in the middle of the back of the structure. That way those that totally want these birds will be able to closely enjoy them.

2 days ago

You hit the nail on the head. I have all the fun I want with dog droppings, cats killing birds, rabbits eating my shrubs, and squirrels in my bird feeder.

2 days ago

Nice way to spread disease. Bird flu is a bad thing for those that make a living selling eggs. People think this is a joy ride to free eggs. Not the case by any means.

3 days ago

Bird flu is a result of cross contamination and crowded, unkempt conditions. A small number of chickens as the only animals (aside from domestic pets that are already allowed) is actually the prime condition for healthy chickens and fresh eggs.

3 days ago

Poll Questions 'Other' Responses:

4

3 days ago

I have been wanting chickens for years and with how egg prices have been this is such a wonderful idea. I think this should be as easy as having cats or dogs. As long as there are no reported problem chickens should be managed in the same way with a few simple rules.

3 days ago

Then move to a piece of land where having chickens won't bother anyone else. This is a problem in the making. When the skunks raccoons and the coyotes come to eat the eggs and chickens. Then it becomes everyone's problem. The cost the the Community as a whole isn't worth your chickens.

3 days ago

Neighbors will take advantage of the situation and make it difficult for neighbors. It won't matter if neighbors want or not-there should be a requirement that the coop be placed next to the owners home and not on property lines or anywhere close to a neighbors house-garage-or property

4 days ago

Cleanliness

4 days ago

Hens only

4 days ago

I absolutely do not want my neighbor to put a chicken coop on their property line. If someone wants chickens, please require that the hen house is right next to their own house. NOT on the property line.

4 days ago

some people will find a way around the law ,if it is 4 chicken per lot and they have a lot and a half does that mean they can have 6 chickens

5 days ago

Cleanliness ordinances already are not enforced.

5 days ago

Neighbor agreement

5 days ago

K

6 days ago

Please ensure these are not the only consideration you are looking at. There are many other problems that must be addressed

6 days ago

4

6 days ago

No chicken tax as well.

6 days ago

City to stay out of it

6 days ago

Hens only

6 days ago

It seems unreasonable to require permission from neighbors for chickens, but not for dogs, which are much louder.

6 days ago

You are totally right. We have a neighbor with a barking dog. We also have a neighbor with a very loud truck. Where would the rules end

6 days ago

Backyard

6 days ago

No

6 days ago

Yes

6 days ago

4

6 days ago

No rooster

6 days ago

3 or more

6 days ago

Why is it that people want to have the above list of requirements for chickens, but do not require the same for dogs?

6 days ago

8

6 days ago

Chickens eat so many bugs and to get rid of the Japanese Beetles alone, I'd love to have them.

6 days ago

Hens only. Permit needed. Heavy fines for inhumane treatment. There's a ton of research out there on how to make "city chickens" work and I think with the proper education and enforcement, there are tons of benefits that outweigh the inevitable issues. After reading through the comments, it's obvious there are a lot of misconceptions about chickens - so again, education will be key.

6 days ago

No roaming free

6 days ago

6 tops

6 days ago

10

7 days ago

while we do have people who do not pick up after their dogs, the city should only allow chickens which are fenced in and if they have a back yard that is not visiable to the road in front of the property. Any person who violates these restrictions should be fined a very large fine to discourage other people from not taking responsibility for their animals. Like pets

7 days ago

Hens only, in backyard only, minimum amount of land for use, secured location, and cleanliness (Aka chickens are living creatures that should be kept humanely.). No free ranging outside their run.

7 days ago

There should be restrictions in number and please no roosters, due to the noise. The answer fields aren't working. Many cities allow chickens, why don't we?

7 days ago

Hens only, location, (this answer field isn't working properly)

7 days ago

Hens

7 days ago

Hens only

7 days ago

5

7 days ago

Number of chickens, no roosters, fenced in on property

7 days ago

Number of chickens

7 days ago

No roosters

7 days ago

Hens only

7 days ago

So long as people are not intruding on others rights, it is no business of anyone's, what folks do on their property within the bounds of the constitution.

7 days ago

All

7 days ago

Please provide us with additional comments below.

Chickens eat ticks and other bugs, there waste is excellent fertilizer and they produce eggs and meat. As long as they are only allowed to stay in a fence and not wonder freely, I don't see a down side.

7 days ago

Have you ever had chickens before. I had ducks as a child. They stink and attract raccoons for eggs and food. It is not a joy ride like you are thinking.

3 days ago

The city needs to look at ordiances in other areas of the state. Green Bay has an excellent program. Not only is there a small fee to have the birds, but the humane officers must perform checks multiple times per year to ensure that the birds are being kept in a clean environment with food and water. Furthermore the distance of 200 feet from a structure is too far. Again Green Bay allows 50 feet.

7 days ago

Listen, chickens aren't going to be any louder than my neighbors dogs barking at 3am

7 days ago

There are many cities that allow chickens. I can see restricting roosters due to noise but allowing residents to keep a few hens for egg production is a good idea. I personally would do it as I owned chickens before moving to Marshfield.

7 days ago

There are a whole lot of homes and yards starting to look very junky. Grass not mowed, litter on yard, multiple vehicles in yards including campers. Chickens would just make some neighborhoods more junky. Most often I'm in favor of less government regulation but this concerns me.

7 days ago

I absolutely support this even though I would not be able to currently take advantage of it because I am renting. If people can keep dogs and cats, then chickens shouldn't be an issue.

7 days ago

I raised chickens for over 20 years and if you have 4 or less, they don't stink and just hens are relatively quiet. Much quieter than the dogs that are barking day and night! Chickens taught me responsibility and life lessons as a kid. They taught me to care for living beings, but also provide delicious eggs! I think chickens could bring communities together by supplying neighbors with eggs too! I know my elderly neighbors would love nothing more. Of course there will be people who don't clean up after them or have chickens that escape, but dogs are just as bad. I have 2 dogs myself and know the upkeep required. Fines can be issued. I think with the small amount of people who are ACTUALLY going to get chickens, it won't be a huge stress on the police. We're not asking for livestock. Just 4 small birds that can provide self-sufficient food and endless joy to those of us who love them.

7 days ago

If you check on people's chickens, why wouldn't you check on their dogs, cats and especially children? I think this restriction is unnecessary, unless there is a problem.

7 days ago

How do you expect this program to be successful when budget cuts keep happening? Who will have the time to inspect and monitor? If the city has to confiscate any illegal birds where will they be kept and what will be done with them?

7 days ago

I could see some rules concerning distance of chicken coop from neighbors house being helpful. If you are sitting on your back deck and all you smell is coop, that could cause some issues.

7 days ago

It seems that most who want chickens are the type that won't be responsible chicken owners.

7 days ago

Do not allow this

7 days ago

There is no need for farm animals in city limits

7 days ago

Fowl for the purpose of egg production for the owner are not farm animals. Yes, large farm animals shouldn't be allowed, however having a few chickens isn't anything worse than having a dog or 2. You still have to clean up their waste, still have to provide adequate housing food, water and enrichment. This city boasts itself on the fair it contains within its borders yet refuses to allow residents to have a few chickens. That's the backhanded ideals that have caused this city to continue to raise taxes while contributing to a lower level of living for its residents.

7 days ago

Response to fowl for the purpose of egg production, by definition "farm animal" is chickens, pigs, and other farm animals. There are several pet owners that do not take proper care of their pets now, how would you propose the proper guidelines are followed, who's going to police it? Ordinance control, the PD is already understaffed.

7 days ago

If ordinance officers (we have only 2) do the inspections for only 250 sites they will be spending 750 man hours based on : they travel in pairs (if not- they need to buy another vehicle); a minimum of 30 minutes per inspection including travel time, onsite time, office paperwork, with a minimum of 3 inspections per year and not including follow-up inspections. That's a heck of a lot of time for a few chickens - and the fact that recently the police department was denied hiring more man power.

4 days ago

If you allow chickens in town, I'm gonna get and keep some sheep to mow my lawn. Also have you seen the price of wool sweaters and lamb chops? I should be able to save money and have a fun hobby, too.

5 days ago

Its a misconception that chickens ate loud and messy. We have raised chickens until we moved to marshfield. We love this town, but that has been a major disappointment. Eggs are ridiculously high and there is no sign of them coming down. Whats next, telling people they cant have gardens in there yard unless neighbors approve.

6 days ago

Chickens make good pets -produce your own eggs without chemicals, -using kitchen scraps reduces greenhouse gases in landfills. Also they are predators for Japanese beetles and other garden pests! Many other communities have chicken ordinances.

6 days ago

I've lived on a farm until I moved to town when I was an adult. I understand the interest in having fresh eggs but all animals are work. I feel if people don't do their research it's going to be like the cute bunny you get the kids for Easter. Don't want to see random chickens loose in the city.

6 days ago

Chickens belong in the country

6 days ago

Please do not allow chickens in the city. Too noisy and smelly.

6 days ago

I definitely do not want chickens in my neighborhood. They make too much noise especially if they have roosters too. Just not a fan plus who is going to regulate the chicken owner if following the rules. Please don't allow chickens in a neighborhood.

6 days ago

No sense in creating another ordinance that the city will not enforce.

6 days ago

I have raised chickens in the past. Chickens do not make that much noise, even Roosters don't make as much noise as an incessantly barking dog. It would take a lot of chickens to produce a noticeable odor.

6 days ago

Look at the backyard chicken programs from other cities like Madison. Even major metro communities like Chicago and Nashville allow backyard chickens. They are clean, they don't smell, they're great for pest control, and if we limit it to hens, they are not noisy.

6 days ago

Take a walk around Marshfield's south business park walking path and see how many people don't pick up after their dogs. Allowing chickens will be a total disaster, leading to many confortations between neighbors. Where there is farm animal waste, there is smell and flies.

6 days ago

As a person who grew up with a few chickens, I can see both sides. But I feel there are more benefits for allowing chickens, especially for families with children. As long as they have a limit on the number of chickens and don't allow roosters (this seems to be a big concern for community members) then I don't see a problem. For families, it can provide learning opportunities for children. It can teach sustainability and empathy. Having chickens allows for access to good, helps with pest control, and can bring neighbors together through sharing of eggs or a newfound sense of community.

6 days ago

No. No No . I raised chickens out in the country. They are smelly and require work and expense. I didn't move to marshfield to live next to a farm.

6 days ago

With the budget being so tight, do we really have the money for ordinance officers to deal with chickens too?

7 days ago

They are already getting paid and the fees from any violations would be income technically.

6 days ago

Cleanliness and noise level would be my only concern. I don't really mind, as long as the city enforces the cleanliness. People can barely pick up after their own dogs around here. Plus a limit on how many!

7 days ago

Chickens are a form of noise pollution. They belong some where other than in the city of Marshfield.

7 days ago

Might as well let us have chickens if we have enough yard space. Maybe make a yard size minimum for it and stuff.

7 days ago

I think checks should be made to make sure that any chicken owners are taking care of them and are being good owners and neighbors and not living sloppy and careless with the chickens.

7 days ago

Chickens should be an option for everyone it is food no Different then growing a garden. I don't believe a permit should be needed to make the city rich so people can fulfill the basic need of food.

7 days ago

You butcher them in your back yard or garage. No big deal! Chickens are easy to process, no different from cleaning a bird you hunted.

7 days ago

Where, and by who do you suggest these birds get processed? Are we going to allow someone to butcher them in town as well?

7 days ago

All I see is this starting neighborhood arguments. I say for all those making this decision to put a bunch of chickens next to your property for a year and see what you feel. I would bet the answer is NO CHICKENS!

10 minutes ago

A city lot is not a farm!!

11 minutes ago

Yes I agree. When driving around the city so many places are getting trashy. Junk in the yards, junk cars parked in front and back of the houses. We need to clean up the city not add more garbage to it.NO CHICKENS!!!

20 minutes ago

Do not want chickens in my neighbor hood. Price of eggs are coming down. What's the next thing this city is going to allow beef cattle?? You want chickens move to the country.

28 minutes ago

I don't want my kids attacked or killed by a fox because they were brought in by the chickens. Safety should be the number 1 priority.

9 hours ago

If we get chickens in the city, what's next? Pig pens all over because people want bacon? Cows roaming the neighborhoods because people want easy access to milk?

9 hours ago

We chose to live in the city of Marshfield for a reason. We didn't want barnyard animals all over the place, the smell of manure, or noises that come with all of that. If we didn't mind that we would have found a place in the country.

9 hours ago

People will bend the rules, not maintain things like they should, not care if it annoys the neighbors or do other things they should not. People are lazy. They always want more and will try to get away with things.

9 hours ago

Farm animals do not belong in the city. People can't even clean up after there dogs and cats are allowed to roam so no to chickens.

yesterday

This proposed ordinance will be costly in terms of manpower due to the very necessary (and most certainly required) inspections by Ordinance Patrol personnel. This at a time that the PoliceDepartment's manpower resources are already distressed. Also us neighbors are going to be totally upset by wild animals, dogs and the zillion stray cats that will be searching for ways into these coops looking for a snack.

2 days ago

I would consider moving out of the city if the chicken ordinance goes forward with allowing them

2 days ago

Neighbors' permission should NOT be needed. Neighbors aren't paying my property taxes. Marshfield allows dogs, and obnoxious dog owners far outnumber any foreseeable chicken problems.

3 days ago

please! please! pleaaaaase allow chickens! we've wanted chickens forever!

3 days ago

I live on the south east side of town. Most homes and yards are in disrepair. There are cars parked in yards with flat tires that haven't moved in years. Yards with garage and unmanaged landscaping. Homes that have been in the process of being remodeling for years. A handful of homes have missing siding! The dogs are already a nuisance. So many dogs are left outside tied to the same tree or in a makeshift pen with questionable shelter. Our ordinance officers are already unable to enforce the current laws. Why add chickens to this problem?

4 days ago

to many people will find a way around the law , if it says 4 chickens per lot and they have a lot and a half does that mean they can have 6 chickens ????

5 days ago

I want a new normal if we can't go back to the old normal. Cause this "New normal" the last couple years has been awful. No chicken tax

5 days ago

I have lived in municipalities that allowed chickens. It did nothing but improve the community. Never experienced a negative to allowing chickens. In my opinion they are less noticeable than dogs!

5 days ago

Don't allow this it's outrageous

5 days ago

It is ridiculous that if you own more than one acre of land in city limits that having chickens is prohibited.

5 days ago

As long as the ordinance is followed and complaints if any are enforced.

5 days ago

If I have to license my pets, will they have to license their chickens? I would think yes, because they are an animal in your property.

6 days ago

I live on 5 acres of land on the boundry of the city limits. It does not appear logical to me that raising a modest number of chickens should be a violation of city ordinances. I am fine with reasonable city oversight but also see the present restrictions as excessive.

6 days ago

If a larger city like Madison, Wisconsin allows chickens, there's no reason Marshfield can't. While we're at it, allow ducks and guinea hens, too. (I already have ducks in my yard -- wild mallards)

6 days ago

I think the coop should not be allowed near the property lines. I think the Ordinance Officers should have to preview where the coop will be erected and then visit the site before chickens are allowed to take residence. I don't think officers should try to capture escaped chickens; it should be the responsibility of the chicken owner. What happens if a vehicle strikes a chicken?

6 days ago

Chickens eat Japanese beetles! We have a huge problem with these beetles on our trees. I am in support of keeping chickens in the city

6 days ago

Where is the animal gonna go? Our neighbors put it in the garbage bin! Disgusting!

6 days ago

Maybe an introductory class (1/3 to 1 hour?) before being given a permit?

6 days ago

3 chickens each. In the back yard of owned properties. I don't think renters should, because the landlords will have to take responsibility for the mess left behind. Chickens are beneficial for many things.

6 days ago

If you have chickens checked on by city ordinance, you should have cats, dogs and especially children checked on.

7 days ago

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The City's Plan Commission seeks to receive public input on a proposed backyard chicken ordinance in the city limits.

5 minutes ago

The City's Plan Commission seeks to receive public input on a proposed backyard chicken ordinance in the city limits.

7 minutes ago

The City of Marshfield Plan Commission seeks to receive public input on a proposed backyard chicken ordinance in the city. Please take our survey so that we can provide data to the Plan Commission for their next public meeting.

7 days ago
